



PLANNING DEPARTMENT

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**UPPER BLUE PLANNING COMMISSION
AGENDA**

July 23, 2020 – 5:30 p.m.

Due to Public Health concerns and social distancing efforts, this meeting will be conducted virtually and the public is encouraged to join by following the instructions below:

To Join the Meeting, dial
(346) 248-7799 or (669) 900-9128
Meeting ID: 832 4894 7269
Password: 5683117650
Press # to bypass the Participant ID
To join from your computer, tablet or smartphone:
<https://us02web.zoom.us/j/83248947269>
Password: ubluepc01#

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF SUMMARY OF MOTIONS: December 5, 2019 and January 23, 2020

IV. APPROVAL OF AGENDA: Additions, Deletions, Change of Order

V. ELECTION OF OFFICERS:

VI. CONSENT AGENDA:

None

VII. WORK SESSION ITEMS:

None

VIII. PUBLIC HEARINGS:

PLN20-022 Class 4 - Trails at Berlin Placer Site Plan for 20 Workforce Housing units and one Habitat for Humanity dwelling unit.

IX. DISCUSSION ITEMS:

- Suggested Revisions for Consideration in Next Master Plan Update
- Countywide Planning Commission issues
- Follow-up of previous BOCC meeting
- Planning Commission Issues

X. ADJOURNMENT

* Allowance for Certain Site Plans to Be Placed on the Consent Agenda: Site plan reviews consisting of three (3) to a maximum of 12 multi-family units for the total development parcel or project may be placed on a Planning Commission's "consent agenda", which allows for expeditious review and approval of these smaller projects. Site plans may only be placed on the consent agenda if the recommendation does not include any conditions. Single-family and duplex development that are required to have a site plan review by a Planning Commission due to a plat note, PUD requirement or other regulatory mechanism may also be placed on a Commission's consent agenda. A Planning Commission member may pull such agenda item off the consent agenda to allow staff or the applicant to address issues or questions related to the site plan review criteria for decision prior to taking action.

**UPPER BLUE PLANNING COMMISSION
SUMMARY OF MOTIONS**

December 5, 2019 – 5:30 p.m.

COMMISSIONERS PRESENT: Ric Pocius, Jay Beckerman, Keith Gallacher, David Nelson, Drew Goldsmith, Eli Yoder, Graeme Bilenduke

STAFF PRESENT: Don Reimer, Keely Ambrose, Cody Horn, Dan Osborn

Ric Pocius, Chair, called the December 5, 2019 meeting of the Upper Blue Planning Commission to order at 5:30 PM

Approval of Summary of Motions: The Summary of Motions for the August 22, 2019 meeting were approved as submitted.

WORK SESSION ITEMS:

None

PUBLIC HEARING ITEMS:

A. **PLN18-037:** The purpose of the Tiger Run RV Resort Major PUD amendment is to clarify requirements of the PUD and incorporate recent lawsuit settlement agreements related to the Whitt property.

Commissioner Goldsmith made a motion to approve PLN18-037 with the following findings:

1. The modification is consistent with the efficient development and preservation of the entire PUD since the modifications further aid in the functioning of the Tiger Run RV Resort. Specifically, the proposed amendment is consistent in that it will allow the applicant to fulfill the District Court Settlement Stipulation Agreement and other minor PUD issues.
2. The modification does not affect, in a substantially adverse manner, either the enjoyment of land abutting upon or across a street from the PUD or the public interest.
3. The modification is not granted solely to confer a special benefit upon any person.
4. The proposed PUD modification is in general conformance with the goals, polices/actions and provisions of the Summit County Countywide Comprehensive Plan and any applicable basin or subbasin master plans as stipulated in the staff report.
5. The proposed PUD modification is consistent with the purpose and intent of the County's Zoning Regulations.
6. The proposed PUD modification is consistent with the County's Rezoning Policies.
7. The proposal is consistent with the policies constituting the purpose and intent allowing for the establishment of Planned Unit Development, as set forth in §12200.01 of this Code, as well as the policies supporting the purpose and intent of allowing a Major PUD Modification Zoning Amendment, per §12202.01 of this Code.
8. In light of the purpose and intent of PUD designations and modifications, the proposal furthers the public health, safety integrity and general welfare, as well as efficiency and economy in the use of land and its resources.

9. The applicant has provided final evidence of adequate water, sewer, access, utilities and other required infrastructure to serve present demands, and adequate access and infrastructure is also available to serve reasonably anticipated future demands.
10. The Review Authority has reviewed the PUD text and the revised exhibits and pending the BOCC's review, the PUD is suitable for the Chairman's signature and recordation, upon incorporation of the stated condition.

Condition:

1. The County Attorney's Office shall review and approve the final PUD language prior to recordation of the PUD Designation.

Commissioner Nelson seconded the motion. Approved 7-0

- B. PLN19-123:** A request to modify the building and disturbance envelopes that were originally approved by PLN11-099, a Non-conforming Parcel Plan for Lot 12B, Gold King Placer Unsub, in the A-1 zoning district on approximately 5 acres, was approved.

Commissioner Beckerman made a motion to approve PLN19-123 with the following findings:

1. The applicant has provided proof that the size of the parcel did not violate Zoning Regulations when it was created and that the parcel complies with Section 14101.02.F. The parcel was legally created on December 30, 1960.
2. The parcel has adequate access, water, sewage disposal and utilities for the intended use as required by the provisions of this Code.
3. There are no known unstable or highly erodible soils, geologic conditions, steep slopes, wetlands, or other potential hazards on the site that would result in a threat to public health, safety or welfare.
4. The location of the proposed garage addition and driveway realignment comply with the development standards for the A-1 zone district. The proposed building area has been designated and will meet setback requirements.
5. The applicant has provided a survey of the parcel. This parcel has never been merged with any adjacent parcels.
6. The non-conforming parcel plan approval can be granted without substantial detriment to the public health, safety and welfare.
7. The least environmentally damaging building site has been established and will be maintained, including a disturbance envelope that is consistent with the NCPP zoning regulations.
8. The impacts of development upon adjacent properties have been addressed. The property is surrounded by properties ranging from 1.5 to 10 acres, zoned A-1.
9. Uses of the property should be limited to those listed in the exhibit attached to the resolution in order to limit impacts for development.

Condition:

1. The application for building permit shall include a submittal showing the building and disturbance envelopes as approved in the NCPP.

Commissioner Gallacher seconded the motion. Approved 7-0

DISCUSSION ITEMS:

The Planning Commission was updated on upcoming Comprehensive Plan updates and Short Term Rental regulations and permitting process.

ADJOURNMENT: The meeting was adjourned at 6:37 PM

Submitted,

Cody Horn Planner I

DRAFT

**UPPER BLUE PLANNING COMMISSION
SUMMARY OF MOTIONS**

January 23, 2020 – 5:30 p.m.

COMMISSIONERS PRESENT: Ric Pocius, Jay Beckerman, Keith Gallacher, David Nelson, Drew Goldsmith, Larissa O’Neil, Lowell Moore

STAFF PRESENT: Dan Osborn, Keely Ambrose, Lindsay Hirsh

Ric Pocius, Chair, called the December 6, 2019 meeting of the Upper Blue Planning Commission to order at 5:30 PM

Approval of Summary of Motions: The Summary of Motions for the December 5, 2019 meeting were not included in the Commissioner’s packet and thus not approved.

WORK SESSION ITEMS:

None

PUBLIC HEARING ITEMS:

- A. **PLN19-096** Class 5 - Preliminary rezoning of a 2.23 acre lot currently zoned Rural Estates (RE) to R-1 to accommodate two single family lots; Lot 2, Blue Sky Estates.

Commissioner Goldsmith made a motion to approve PLN19-096 with the following findings and conditions:

Findings:

1. The proposed rezoning is in general conformance with the goals, policies/actions and provisions of the Summit County Countywide Comprehensive Plan and any applicable basin or subbasin master plans.
2. The proposal is consistent with the purpose and intent of the County's Zoning Regulations.
3. The proposal is consistent with the County's Rezoning Policies.
4. The proposed rezoning is compatible with present area development and will not have a significant, adverse effect on the surrounding area.
5. The proposal is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources.
6. The proposed rezoning is justified because there have been changes in conditions in the vicinity as development has occurred since the prior rezoning in 1988..

Conditions:

1. Prior to the recordation of the final rezoning, the applicant shall obtain one TDR for the additional lot being permitted by the rezoning from RE to R-1.
2. Prior to the issuance of a building permit, if deemed necessary by the Summit County Engineering Department a wetlands delineation shall be submitted that indicates that no soil disturbance will be located within 25 feet of any identified wetland.
3. No earth disturbing activities or snow storage shall be conducted or located on adjacent USFS lands.

Commissioner Nelson seconded the motion and the motion passed on a 7-0 vote.

- B. **PLN19-098** Class 5 - Preliminary plat to subdivide a 2.23 acre lot into two lots, Zoned RE,

Lot 2, Blue Sky Estates.

Commissioner Goldsmith made a motion to approve PLN19-098 with the following findings and conditions:

Findings:

1. This application is being processed concurrently with PLN19-096, a request to rezone the subject property from RE to R-1. If PLN19-096 is approved, the proposed subdivision will be consistent with the applicable Zoning Regulations because, without limitation, the subject property meets the density and lot size requirements of the R-1 zoning district. If PLN19-096 is not approved, this criterion will not be met.
2. The proposed subdivision is consistent with the Subdivision Regulations applicable to the property because, without limitation: a) fire protection is available from the Red, White and Blue Fire District; b) geologic or soil issues can be mitigated; c) the property has access to the County road system; and d) adequate utilities and services are available to the property.
3. The proposed subdivision is in general conformance with the goals, policies/actions and provisions of the Summit County Countywide Comprehensive Plan and the Upper Blue Master Plan and the Joint Upper Blue Master Plan. Without limitation, the proposal is in general conformance with the Residential land use designation indicated in the Upper Blue Master Plan and the proposed building envelopes are placed to address areas with environmental constraints or visually prominent areas.
4. The applicant has provided evidence that the Town of Breckenridge Water Division will provide service to the subject property.
5. The applicant has provided evidence that Upper Blue Sanitation District will provide sewer services to the subject property.
6. Evidence has been provided to show that there are no significant geologic hazards present that cannot be addressed through standard engineering practices. The Colorado Geologic Survey and Middle Park Conservation District have indicated that the intended use can be engineered to address the soil or topographic conditions that exist and these conditions can be mitigated so that they would not prevent development of the subject property.
7. The applicant has provided evidence that all lots and parcels created by the subdivision will have access to the County road system and to the State highway system in conformance with the State access code. Access to the subject property is available from Brook Street.

Conditions:

1. Prior to the recordation of the final plat, the applicant shall pay the public use area fee in the amount of \$1,500 for the additional lot.
2. Prior to the issuance of a building permit, if deemed necessary by the Summit County Engineering Department a wetlands delineation shall be submitted that indicates that no soil disturbance will be located within 25 feet of any identified wetland.
3. No earth disturbing activities or snow storage shall be conducted or located on adjacent USFS lands.
4. Prior to the issuance of a Grading and Excavation Permit, the applicant shall execute a Subdivision Improvements Agreement and provide a financial guarantee to the satisfaction of the County Engineering Department.

5. Prior to the BOCC hearing the final plat request, the applicant shall put the necessary utility easements on the subject plat.

Commissioner Beckerman seconded the motion and the motion passed on a 7-0 vote.

DISCUSSION ITEMS:

- Suggested Revisions for Consideration in Next Master Plan Update
- Countywide Planning Commission issues
- Follow-up of previous BOCC meeting
- Planning Commission Issues

ADJOURNMENT: The meeting was adjourned at 6:45 PM

Submitted,

Lindsay Hirsh, Senior Planner

DRAFT



STAFF REPORT

TO: Upper Blue Planning Commission (“UBPC”)
FROM: Lindsay Hirsh, Senior Planner
FOR: Meeting of July 23, 2020
SUBJECT: Planning Case PLN20-022:
APPLICANT: Jeff Francis, Berlin Placer Development LLC
OWNER: Andy Hayhurst, Lange Berger LLC
REQUEST: Trails @ Berlin Placer Site Plan for 21 Workforce housing units including one Habitat for Humanity dwelling unit, A portion of the Berlin Placer MS No. 2379 and the TH Fuller Placer MS No. 86, T7S, R77W, S5.

APPLICATION MATERIALS: Up until a decision is made by the final Review Authority, the Applicant’s Submittal Materials can be found at <http://summitcountyco.gov/254/Projects-Under-Review> and are hereby incorporated into the official record in their entirety. Once a final decision has been made, the Submittal Materials can be obtained and/or reviewed at the Planning Department.

PROJECT DESCRIPTION:

Location: 0106 Sallie Barber Road
Legal Description: T7S, 77W Sec 05 Qtr. 1, 6th P.M., Mining Claim(s) cont. 23.4 acres Berlin Placer, MS# 2379 TH Fuller Placer, MS# 86.
Existing Zoning: Trails at Berlin Placer PUD
Existing Use: Vacant
Proposed Use: 21 Workforce Housing Units
Total site area: Tract A = 2.46 acres; Tract B = 1.17 acres; Tract E = 0.24 acres

Adjacent land uses:

East: Woodmoor at Breckenridge Subdivision, (R-4 with Plan)
West: Baldy Road and Juniata Subdivision, (Juniata PUD)
North: Country Boy Subdivision, (Juniata PUD, unplatted Mining Claims (A-1)
South: Baldy Road and Gold Point Condominiums, (R-4 with Plan)

DEVELOPMENT REQUIREMENTS

	<u>Required</u>	<u>Proposed</u>
Density limit:		
Tract A (2.46 acres):	17 workforce housing units (inc. 1 Habitat for Humanity)	17 workforce housing units (inc 1 Habitat for Humanity)

Tract B (1.17 acres):	4 workforce housing units	4 workforce housing units
Tract E (0.24 acres):	Trash/Recycling	Trash/Recycling

BACKGROUND

The subject property was rezoned from A-1 (Agricultural) to Trails at Berlin Placer PUD via PLN17-013, approved by the BOCC on August 22, 2017 and recorded on April 22, 2020 under reception number 1224491. The PUD allows for 22 deed-restricted Workforce Housing Units (1 of which is a Habitat for Humanity Unit and 1 of which is an on-site employee housing unit), and 14 market rate units for a total of 36 units of residential housing. Development is illustrated in the PUD in a conceptual development plan and phased according to a Development Agreement between the County and the developer recorded at reception number 1178951. The Development Agreement requires that the 21 workforce housing units on Tracts A and B, which are the subject of this report, will be constructed in phases prior to, and concurrently with, the platting and sale of the lots for the 14 market rate units.

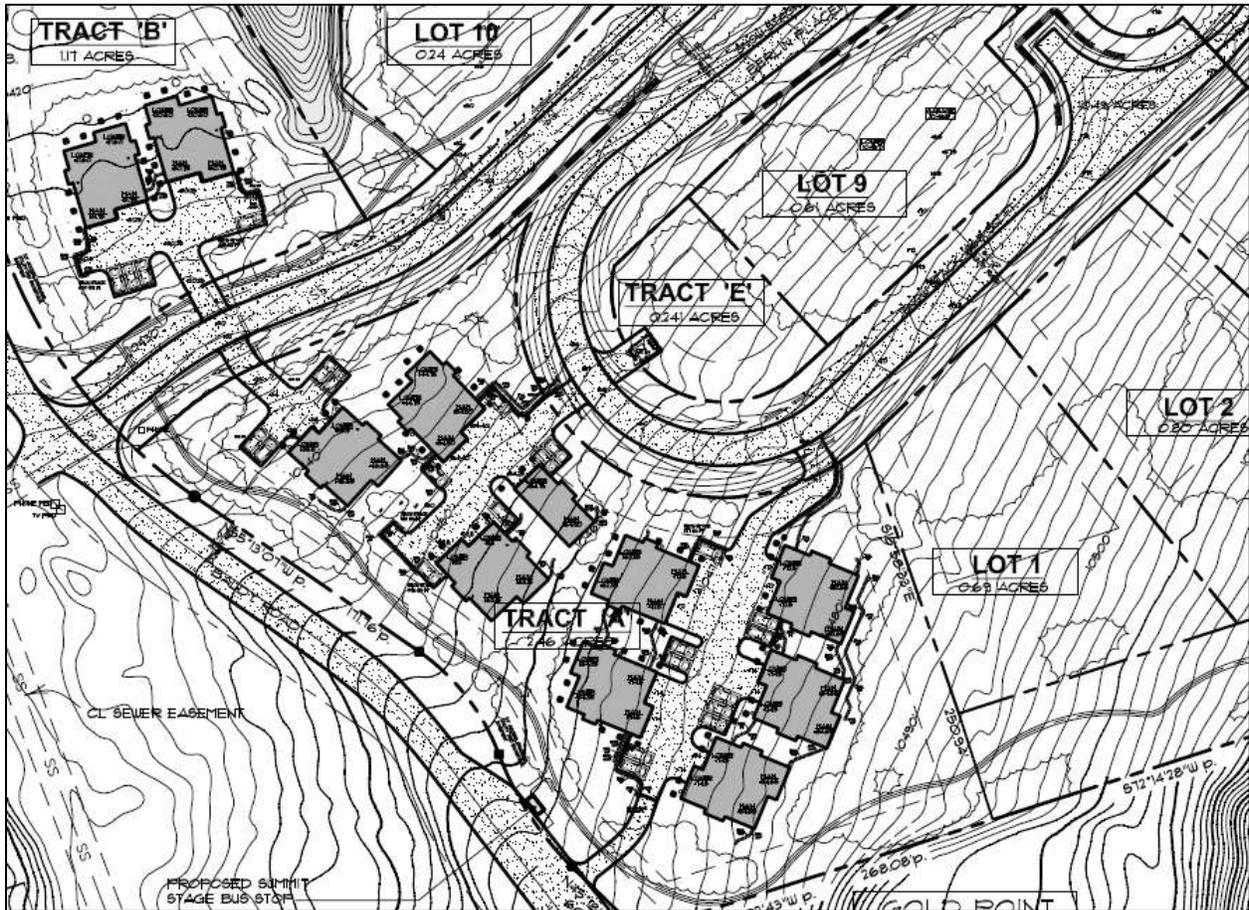
A General Subdivision Exemption plat was approved by the BOCC on July 14 which divided the property into 7 tracts with the permitted uses as listed below. If the plat has not been recorded by the time of the subject hearing, recordation of the General Subdivision Exemption plat will be required prior to recordation of any approved Site Plan.

- Tract A: 17 Workforce Housing Units
- Tract B: 4 Workforce Housing Units
- Tract C: Public Open Space to be Dedicated to Summit County
- Tract D: Private Open Space / Common Area for Trails at Berlin Placer Community
- Tract E: Trash and Recycling, 1 Workforce Housing Unit incorporated into HOA bldg.
- Tract F-N and F-S: 14 Single-family Market Rate Dwelling Units

Tracts A, B, and E are the subject of this report. Tract A will contain 17 workforce housing units, 16 of them will be completed by the developer, and 1 is planned to be constructed by Habitat for Humanity. Tract B will contain 4 workforce housing units to be completed by the developer. All of these units, with the exception of the Habitat Unit which is designed as a single-family home, are designed as duplexes, and all will be platted as townhomes, meaning that the units will be subject to individual ownership, and the area around the units will be maintained and owned in common by the HOA.

The following page shows the plan for the 21 Workforce Housing Units and a plan set is included in Attachment A.

Overall Site Plan of Tracts A, B, and E



CRITERIA FOR DECISION

Per Section 12603.02 of the Summit County Land Use and Development Code (“Code”), the purpose of site plan review is to ensure proposed developments comply with the following:

- A. The application complies with County Zoning Regulations, including but not limited to use regulations, any applicable PUD requirements, design standards and other development regulations and standards.
- B. The application complies with County Road & Bridge standards.
- C. The application complies with County Subdivision Regulations.
- D. The application complies with any previous plans approved for the site still in effect.
- E. The application complies with any conditions imposed on development of the site through previous approvals.

According to Section 12603.02 of the Code, site plan review is considered a technical review. That section of the Code further states that if a site plan meets all County regulations and standards, is consistent with previous plans applicable to development of the site, and complies with any applicable conditions, it shall be approved.

Criterion A: Compliance with Zoning Regulations

The purpose and intent of the County zoning regulations is to ensure compatibility of land uses, efficient and economical use of land, and adequate light and air in development projects. The regulations are also intended to prevent development of areas subject to environmental hazards, and encourage development projects, which are functional, exhibit good design and aesthetics, and protect the County's natural resources and scenic beauty. The following zoning regulations are applicable to this review.

Density and Uses:

Section 2 of the PUD lists the permitted uses on Tract A as Affordable Workforce Housing and 1 Habitat for Humanity Home, and lists the permitted uses on Tract B as Affordable Workforce Housing. The PUD states that Tracts A and B shall contain no fewer than 20 Affordable Workforce Housing Units and 1 Habitat for Humanity Home, which will be deed-restricted in a similar manner as the 20 Workforce Housing Units. The density and uses proposed are compliant with the PUD.

The PUD lists the permitted uses on Tract E as HOA Common Area with an HOA building with 1 Employee Housing Unit. No Employee Housing Unit on this tract is proposed at this time; however, the site plan shows trash and recycling on this tract, which is discussed in the PUD as a permitted use. If in the future, if the HOA wishes to construct a building on Tract E containing an on-site housing unit, there will be space for this use on Tract E.

While deed-restricted workforce housing is exempt from density considerations, the Joint Upper Blue Master Plan (JUMP) contains a policy that that the County and Town extinguish density in order to offset impacts from workforce housing developments. The County will extinguish the density at a 1:2 ratio per the policy in the JUMP meaning that 10.5 units of density should be extinguished to offset the 21 units of workforce housing, this has been added as a proposed condition of approval.

Unit Size and Design:

Section 3.b of the PUD states that each Workforce Housing Unit shall range in size from 1,400 – 2,500 square feet, exclusive of garages, and garages shall range in size from 400-600 square feet. The applicant is proposing 2 units types on the site, "Upslope Units" and "Downslope Units", both are compliant with the size requirements in the PUD as further discussed below.

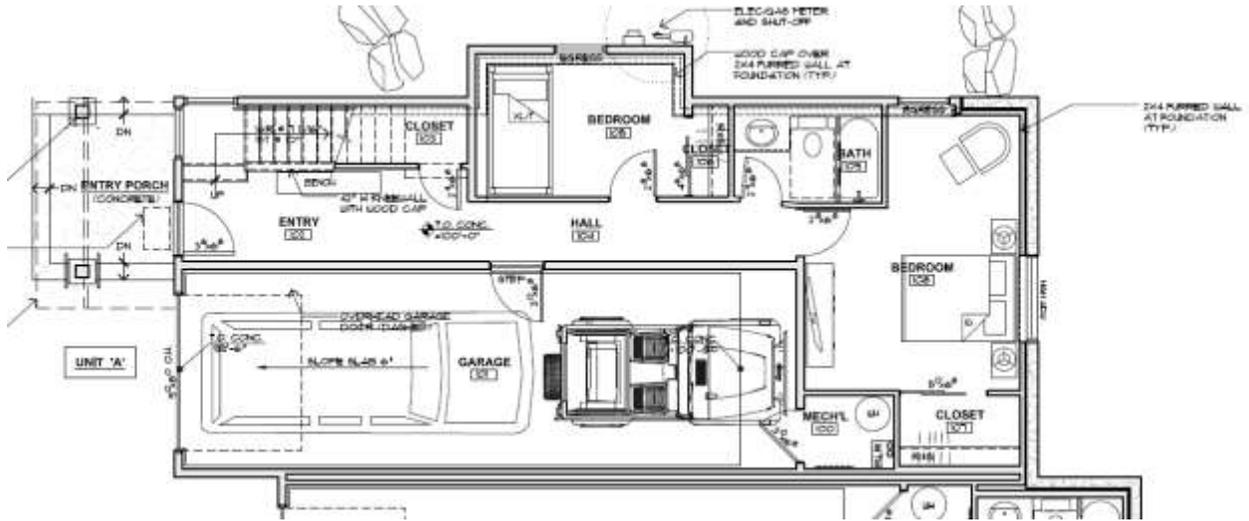
The 11 Upslope Units are proposed at 1,743 sq. ft. containing 4 bedrooms, 3 bathrooms, and a 454-square-foot tandem 2-car garage.

The 10 Downslope Units are proposed at 1,681 sq. ft. containing 4 bedrooms, 2.5 bathrooms, and a 410-square-foot, side-by-side, 2-car garage.

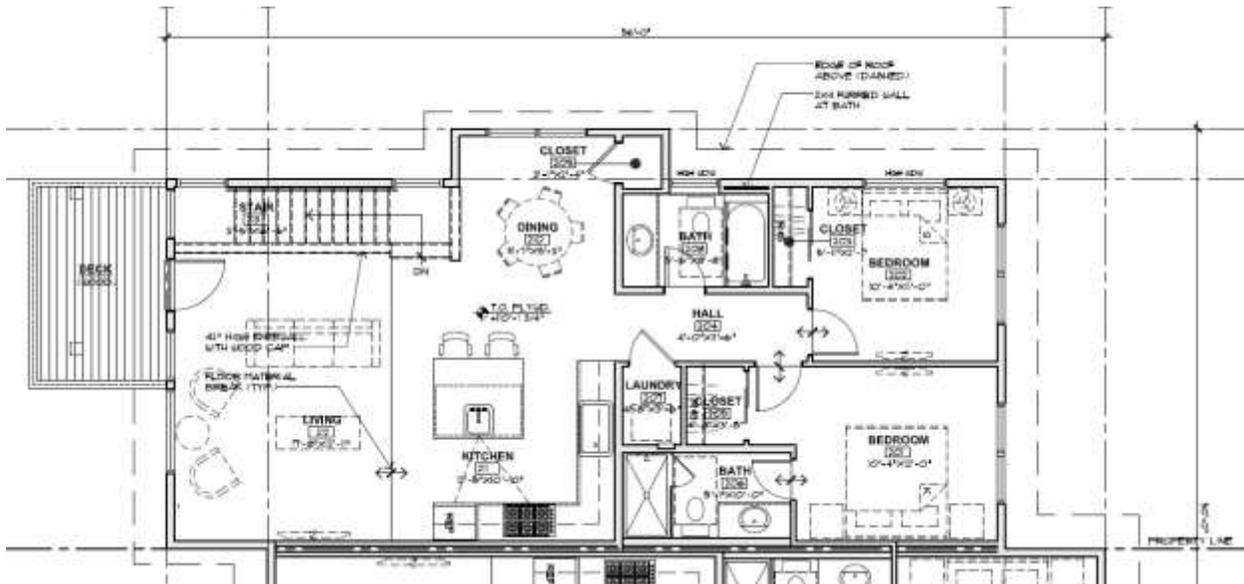
The Habitat Unit is designed as an Upslope Unit. Due to the logistics of construction, this is designed as a single-family detached unit.

Elevations and floor plans are illustrated on the following page.

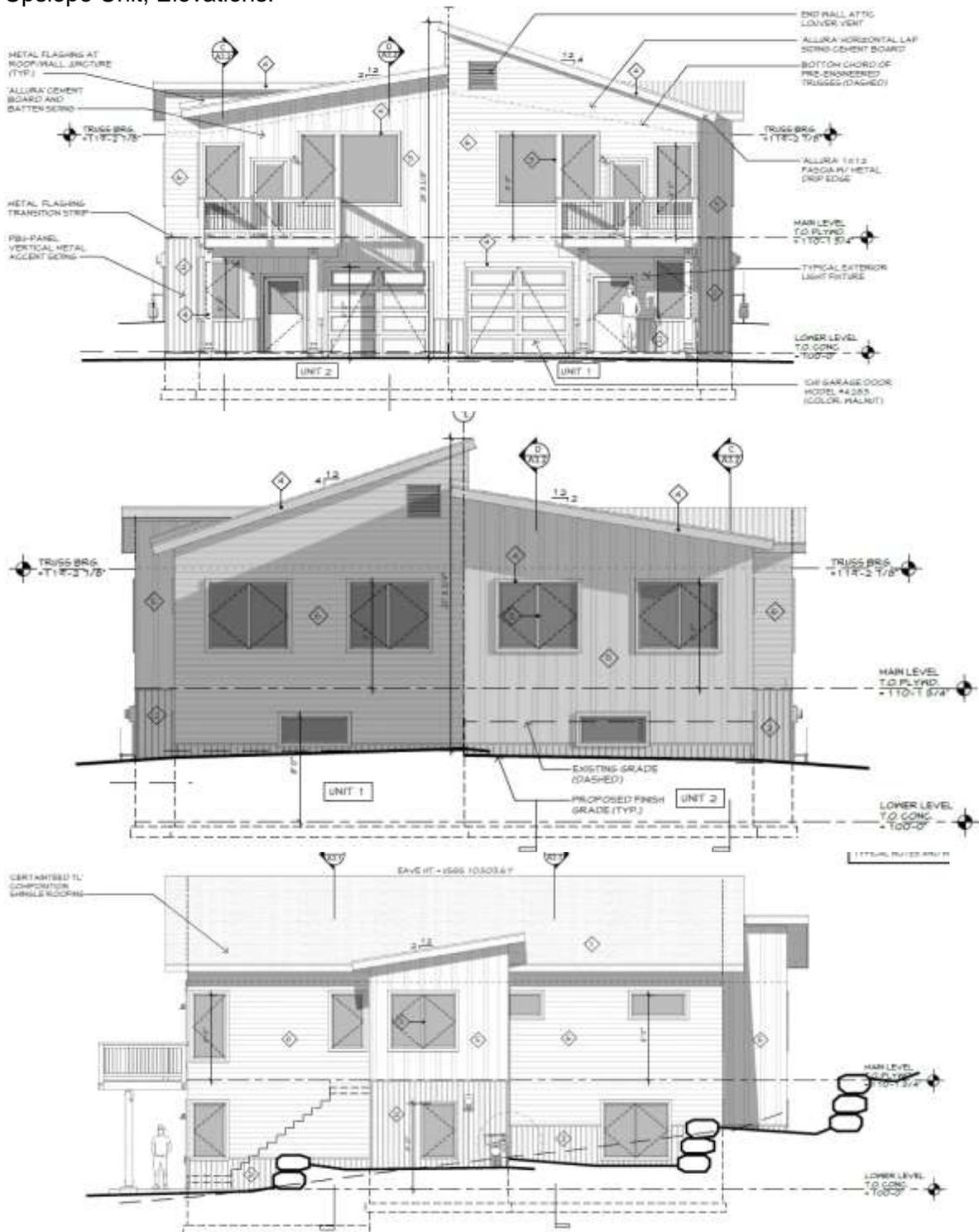
Upslope Unit Floor Plans, Lower Level:



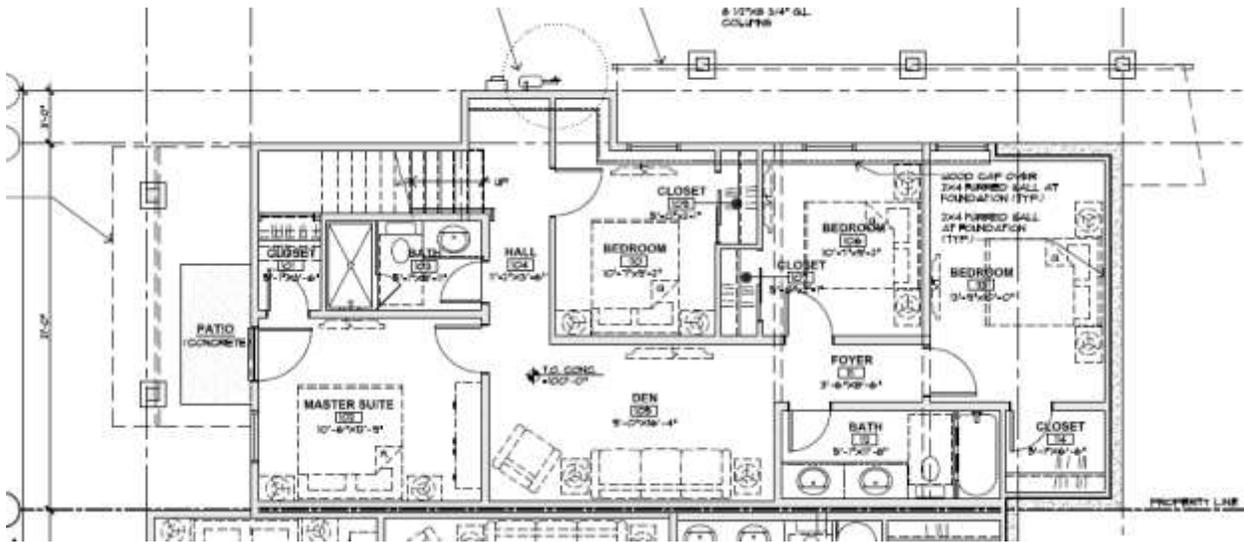
Upslope Unit Floor Plans, Upper Level:



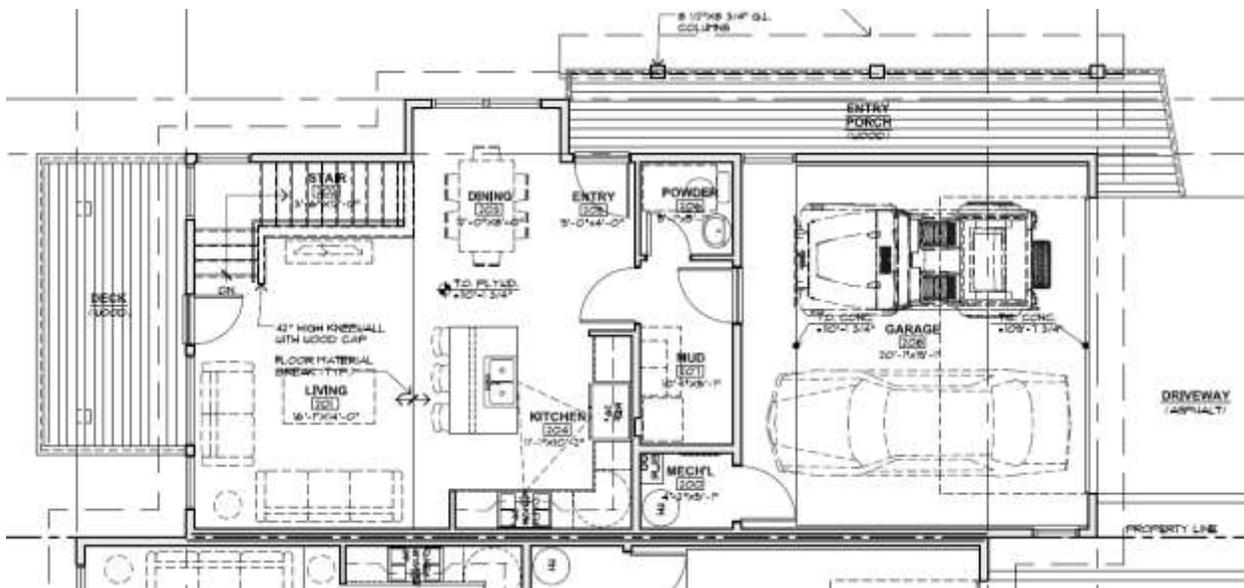
Upslope Unit, Elevations:



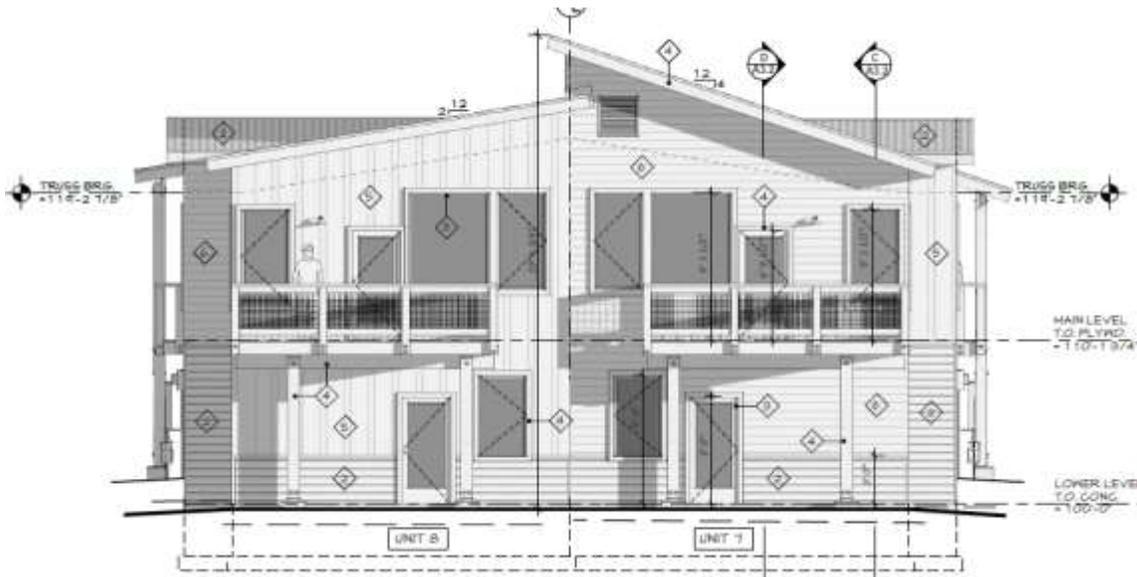
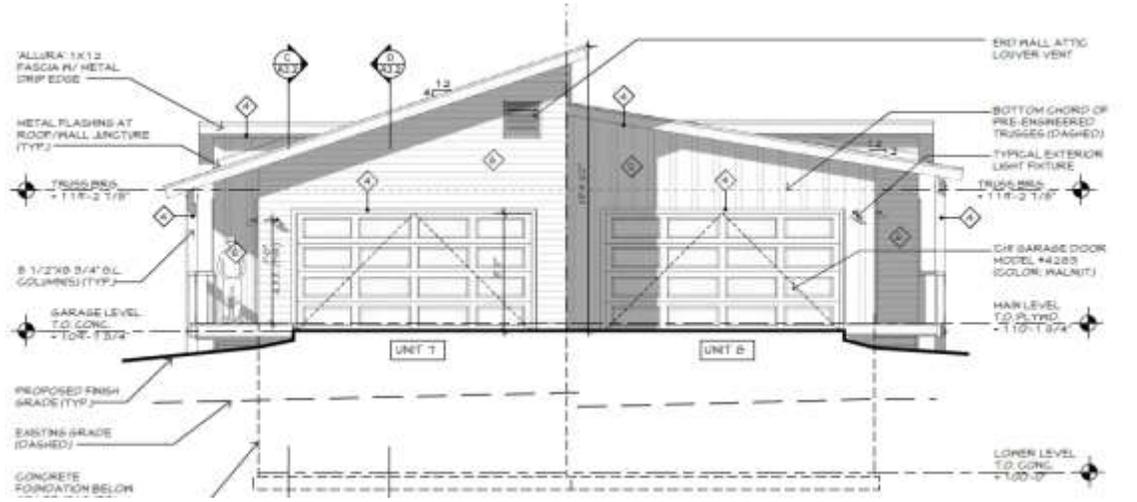
Downslope Unit, Floor Plans, Lower Level



Downslope Unit, Floor Plans, Upper Level



Downslope Units, Elevations:

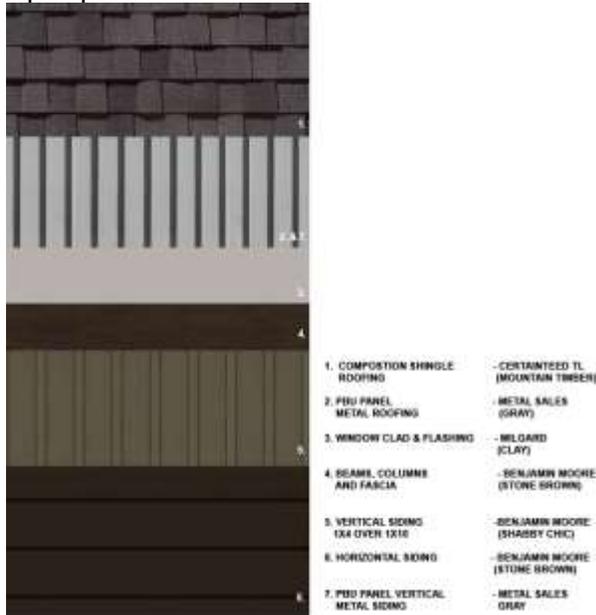


Architectural Characteristics:

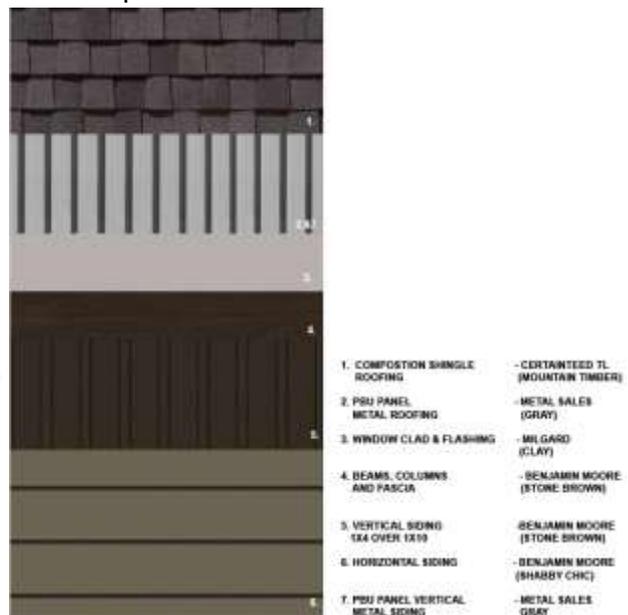
The PUD states that all structures avoid slopes in excess of 20%, be of naturally appearing colors and materials that blend into the surrounding environment using dark and subdued earth-tones, and employ downcast lighting in compliance with the Land Use and Development Code.

The average grades of Tracts A and B do not exceed 20% grade and are approximately 13% and 5% respectively. The colors of the units are shown below and are in compliance with the standards set forth in the PUD, using dark and subdued grays and browns. The applicant has submitted a cut sheet of the proposed lighting fixtures which are fully shielded and downcast in compliance with the Land Use and Development Code.

Upslope Units:



Downslope Units:



Building Height:

Section 4 of the PUD limits the height of the structures to 35'. The applicant has provided a height matrix showing compliance with this limit. Height is measured from the peak ridgeline to a point below using existing or finished grade, whichever is more restrictive. Nearly all of the buildings are approximately 30' feet above grade, with building I shown at 34' due to the grades on the site. Height will be further reviewed during building permit submittal.

Deed-Restriction and Target Area Median Income (AMI):

Workforce Housing Units are required to be deed-restricted for the Summit County workforce per 3809 of the Code. The developer and the County prepared a draft deed restriction during the rezoning; however, since that time the County has adopted new deed restriction guidelines. The deed restriction should be updated to incorporate these new guidelines, which among other changes, include an update to annual appreciation. A draft deed restriction approved by the County shall be finalized prior to issuance of Building Permit, this has been added as a proposed condition of approval.

The developer intends to sell all of the workforce housing units at a price not to exceed 100% AMI. An amenities package, approved by the County Housing Director, is attached to this report. For context, the 2020 100% AMI maximum sale price for a 4-bedroom unit is \$471,320.

Homeowner's Association (HOA):

The HOA for the workforce housing units and the market rate units will be under the same umbrella, but each will function independently. This structure will allow each sub-HOA to address their owner concerns with the goal of not burdening the workforce housing units with costs to be incurred by the market rate units.

Phasing of Development:

Development is required to occur in phases in order to ensure that the workforce housing units and public amenities, including open space dedications and the construction of a new transit stop, are developed and dedicated prior to and concurrently to the sale of the single-family lots on Tract F-S and F-N. The development schedule pertaining to the workforce housing units is bulleted below.

- Building Permit application received by the County for 2 workforce housing units; within 30 days of the approval of the site plan for the workforce housing units
- Recordation of plat for up to 9 lots of market rate housing; only once "substantial completion" of 6 workforce housing units has occurred
- Approval, but not recordation, for the remaining 5 lots of market rate housing; only once a CO has been issued for the 10th workforce housing unit
- Recordation of the plat for the remaining 5 units of market rate housing, once a CO for 20 units of workforce housing has occurred

Section D.2 of the PUD discusses the process for anticipated construction of the Habitat for Humanity Unit. Dedication of the land to Habitat for Humanity, with deep and shallow utilities installed by the developer, shall occur within 12 months of recordation of the GSE Plat. If 5 years have lapsed and the home is still not constructed, it will either be the responsibility of the developer, or the land will be dedicated to Summit County for the construction of the home.

Setbacks and Disturbance Envelopes:

Tracts A and B were platted with a disturbance envelope requiring that all development be setback 35' from Baldy Road, 25' from all other property lines including Sallie Barber Road. The site plan shows all structures within the platted disturbance envelopes. It should be noted that these are labeled as disturbance envelopes; however, should be analyzed as building envelopes since grading for drainage, landscaping, and parking is permitted outside of these "disturbance" envelopes. The site plan and grading plan submitted by the applicant is compliant with the standards set forth in the PUD.

Parking:

The PUD requires 2 parking spaces per unit, and section 3704.01.B requires an additional ½ space per unit, necessitating an additional 11 spaces of shared and guest parking. Parking is provided in excess of this requirement, with approximately an additional 23 spaces in addition to the 2 spaces provided in each garage.

Snow Storage:

The applicant is showing storage in compliance with Section 3505.19 of the Code.

Landscaping:

The PUD addresses landscaping in Section 9 and reverts to the standards found in the Land Use and Development Code requiring 3 trees (1 of which must be a conifer) and 2 shrubs per unit. The applicant has submitted a landscaping plan in compliance with Section 3600 of the Code and

landscaping will be further reviewed during the building permit process and a bond for the establishment of landscaping will be required.

Transit Stop:

Required in Section C.8 of the PUD is the construction of a transit stop for the Summit Stage located adjacent to Baldy Road, near or on Tract A. The transit stop is shown conceptually on Tract A. The design of that improvement is not being reviewed at this time. Per the PUD the developer will construct the improvement within 6 months of the County's request for construction.

Criterion B: Compliance with Road and Bridge Standards

The subdivision-wide infrastructure plan is part of the General Subdivision Exemption and will be further reviewed in a forthcoming Grading and Excavation Permit. Sallie Barber Road will be paved and improved to County standards. The 4 units on Tract B will be accessed from a shared driveway off of Sallie Barber Road. The 17 units on Tract A will be accessed from 3 shared driveways, 2 from the internal access road, and 1 from Sallie Barber road across from the access drive to Tract B. The Summit County Engineering Department has reviewed the proposed plans, and has found that they meets all requirements of Summit County Land Use Code Chapter 5 Road & Bridge Standards, specifically Sections 5103 Road Design and 5107 Driveways and Parking Areas.

Per Code Section 6207 Responsibility for Preparation of Plans and Specifications, Grading Plans must be prepared and signed by an Engineer licensed in the State of Colorado. Before any Building or Grading Permits can be issued, Site Grading Plans prepared by a State of Colorado licensed Professional Engineer at an engineering reviewable scale will need to be provided to the County Engineering Department for review.

Criterion C: Compliance with Subdivision Regulations

Section 8002.01.B of the Code applies specific subdivision regulations to Site Plan Reviews including drainage, fire protection, streets and roads, trails, water, wastewater treatment and utilities, and subdivision naming conventions. The relevant regulations are discussed below.

Drainage:

The proposal meets the requirements of Code Section 7100 Development Standards for Control of Water Quality, specifically 7101.01 Plan Requirements for prevention of soil loss and increase in run-off. Engineered Drainage Plans have been provided and reviewed to the satisfaction of the County Engineering Department.

Slopes and Geotechnical Concerns:

The proposed Site Plans substantially meet the requirements of Code Chapter 7102 Slope Limitations and 7102.01 Extent of Site Disturbance. The only areas on the larger property with slopes in excess of 1:3.33 (33%) are the hydraulically mined areas on the west side of the property; this area is proposed to be subdivided off into Tract C and designated as open space. Minimal disturbance in the future Tract C area is anticipated, and no disturbance to the minor wetlands areas located at the north end of the future Tract C area is proposed. There are no slope concerns specific to Tracts A and B.

The hydraulically mined areas were identified in the Geotechnical Engineering Study by Kumar and Associates as potentially unstable; these areas will need to be remediated to address the potential instability to the satisfaction of the County Engineer. These areas are primarily located on Tract C, however there are small portions located on Tract B, outside of the disturbance envelope for the Workforce Housing Units. A mitigation/revegetation plan will need to be provided

to the County Engineering department for review, providing a solution or solutions approved by the consulting Engineer prior to issuance of any Building or Grading Permits.

Fire Protection: The Red White and Blue Fire Department reviewed the submitted plans and they do not have concerns with the proposal. The Fire Department is a sign-off on the building permit review and will review the plans again in more detail at time of permit.

Utilities: The applicant has provided will serve letters from Xcel Energy, Upper Blue Sanitation, and Town of Breckenridge Water.

Criterion D & E: Compliance with Previous Plans and Conditions

The proposal is in compliance with the PUD and Development Agreement which constitute the applicable plans and conditions pertaining to this site. Development will occur per the Development Agreement and the site plan is in compliance with the standards set forth in both documents.

STAFF RECOMMENDATION

Staff recommends that the Upper Blue Planning Commission approve PLN20-022 with the following findings and conditions:

Findings:

1. The proposal is in conformance with the zoning including the applicable sections of the Trails at Berlin Placer PUD and Summit County Land Use and Development Code, including but not limited to use, density, development triggers, and height.
2. The proposal is in conformance with Road and Bridge Standards including but not limited to driveway spacing and grade.
3. The proposal is in conformance with Subdivision standards including but not limited to drainage, fire protection, and the provision of utilities.
4. The proposal is in compliance with previous conditions and plan in effect as the site plan is consistent with the PUD and Development Agreement.

Conditions:

1. The deed restriction shall be in final draft form prior to issuance of Building Permit for any of the Workforce Housing Units.
2. Prior to Certificate of Occupancy for the Workforce Housing Units, the County shall have initiated the process to extinguish density at 1:2 ratio to offset the impacts from this development, meaning that 11.5 units of density will be extinguished to address the impacts from the 21 units of Workforce Housing.

ATTACHMENTS

- A: Plan Set
- B: Amenities Package
- C: Draft Resolution

**TRAILS AT BERLIN PLACER
TRACTS A AND B WORKFORCE HOUSING SITE PLAN**

PROJECT NARRATIVE

On behalf of the entire development team for the Trails at Berlin Placer, including Lange Berger, LLC (“Owner”) and Berlin Placer Development LLC, (“Applicant”), please accept this project narrative for the Tracts A and B Workforce Housing Site Plan.

Background

The Trails at Berlin Placer is a 23.4 acre parcel located on the northeast side of Baldy Road. It is bisected by Sallie Barber Road and includes the Sallie Barber Trailhead area. A Planned Unit Development (PUD) and Development Agreement was approved by the Board of County Commissioners (BOCC) on August 22, 2017. The PUD allows for the construction of 20 deed restricted workforce housing units, one Habitat for Humanity home, one on-site employee housing unit, and 14 single family market rate homes on the property, and numerous other public recreational and transportation benefits. The Development Agreement contained additional specific development requirements for Berlin Placer. (The PUD was recorded on April 22, 2020 under reception #1224491.)

Berlin Placer, particularly the workforce housing units, will be a benefit to the entire Summit County community. Homes for locals will be created through the construction and deed restriction of workforce housing units that are important to the overall vibrancy of Summit County. Open space parcels and important trails and trail connections such as the Sallie Barber Trail, Barney Ford Trail and Juniata Trails will be dedicated for public use. The Sallie Barber trailhead area will also be improved with 20 public parking spaces. The parking spaces will be constructed and maintained (snow plowed in the winter) by the Owner/Developer. Similarly, a Summit Stage bus stop and shelter will be relocated to a safer location on site adjacent to Baldy Road and constructed by the Owner/Developer and dedicated for public use. These improvements and dedications will take place at various times throughout the build-out of the Berlin Placer per the terms of the PUD and Development Agreement. (I.e. The Tract C Open Space parcel, the Sallie Barber Trailhead improvements, and Tract D easement will be constructed and dedicated no later than at the subdivision of the 5th market rate lot for the property, and the bus stop/shelter will be constructed and dedicated within six months of the County’s request to do so. In addition, an easement area for 10 additional parking spaces on the northwest corner of Lot 6, Tract E will be offered to the County prior to the Final Plat for Lot 6, Tract F.)

A General Subdivision Exemption (GSE) Plat request has recently been approved by the County that will divide the property into six tracts. Tracts A and B will be specifically created for the workforce housing units and Habitat for Humanity home. No individual residential lots will be established with the GSE Plat. Once the workforce housing homes are under construction, townhome plats will be formally submitted for review/approval by the County creating these individual units so that they may be sold to qualified locals. In addition, a Party Wall Agreement,

or other means of ensuring common responsibility and maintenance of units on shared sites, will be submitted to the County for review/approval and recorded concurrently with each plat as required by the Development Agreement.

The PUD and Development Agreement also require the formation of a master homeowner's association for the entire Berlin Placer community and two subsidiary associations—one for the workforce housing units and one for the market rate homes to ensure the on-going maintenance of the community's infrastructure and common elements. The intent was, and still is, to set up a workforce housing homeowners sub-association under the master homeowners association so that they may generally manage their own affairs and costs. By doing so, the workforce units will remain affordable and more directly managed by not subjecting them to excessive homeowner association fees.

Per the Development Agreement, the Owner/Developer and County agreed to collaborate on the future homeowner associations and supporting documents. A draft of the Community Association Materials—the Declaration, the By-Laws, and the Rules and Regulations of the homeowners associations are to be submitted to the County for review/approval prior to approval of any final plat, GSE Plat or site plan—whichever application is applicable. The Development Agreement specifies various assurances that must be contained within these documents. A Preservation of Maintenance Responsibilities Agreement must also be submitted to the County for review and approval and finalized prior to site plan or final plat approval—again, whichever application is applicable. The Preservation of Maintenance Responsibilities must be executed and recorded prior to recordation of any final plat or townhome plat for any phase of the project. Thus, we are currently drafting these documents for the County's review prior to the site plan's approval and will submit these as soon as they are completed.

The Trails at Berlin Placer will be creating a local community development within Summit County that provides many public benefits not only for its residents, but the citizens of Summit County as a whole. Infrastructure improvements are anticipated to begin this spring and ten workforce housing units are to break ground this summer pending site plan approval. This site plan proposal is specific to the local housing, and is a crucial step in ensuring that the development can commence this year, and homes be available for locals.

Request

This proposal is solely for site plan approval for the workforce housing component of the PUD—namely Tracts A and B where the units themselves will be constructed, and Tract E where the community refuse enclosure will be located. The tracts contain approximately 3.87 acres in total and will be developed with the 20 workforce housing units designed in a duplex configuration, one Habitat for Humanity home, and a 168 square foot community refuse/recycling enclosure on Tract E. This is consistent with the terms of the PUD and its Conceptual Development Plan.

The PUD specifies the size and design of the workforce housing units and Habitat for Humanity home to be built. The workforce housing units must range in size from 1,400 square feet to 2,500 square feet exclusive of the garage area. There is no minimum for the Habitat Home—only a 2,500 square foot maximum, exclusive of the garage area. The garages themselves must range from 400

to 600 square feet. Per the PUD, a minimum of eight 3 bedroom units with 2.5 bathrooms must be provided, with the other units consisting of a combination of 3 or 4 bedrooms and 2.5 to 3 bathrooms. All the workforce units and Habitat for Humanity Home meet the above square footage and bedroom/bathroom requirements. There are two types of workforce units—upslope and downslope units that vary slightly from each other in size and design. The upslope units contain 1,743 square feet of living area and a 454 square foot garage (two car/tandem), while the downslope units contain 1,681 square feet of living area and a 410 square foot garage (two car/side by side). We have worked with the local Habitat for Humanity Chapter on the design of the Habitat for Humanity home—it contains 1,758 square feet of living area and a 454 square foot garage (two car/tandem). Two garage parking spaces have been provided for each unit and additional surface parking is also shown outside the homes for residents and guests.

The Owner/Developer will build the 20 workforce housing units and place a Restrictive Housing Covenant and Agreement on them as required by the terms of the PUD and Development Agreement. During the review of the PUD, we worked we worked closely with the County Attorney’s Office to draft a Restrictive Housing Covenant and Agreement for the workforce homes and a Restrictive Covenant and Agreement for the Habitat Home that were reviewed and approved in connection with the PUD. The Restrictive Housing Covenant and Agreement for the workforce housing units was updated to reflect the County’s recent revisions to that standard form. We will be glad to work with the County to incorporate any additional needed changes to those documents.

We plan to begin construction of ten units on Tract A this summer and anticipate their completion within a year. The next ten will begin in 2021 and be completed in 2022. As required by the PUD, the land for the Habitat for Humanity Home will be dedicated to the local Habitat for Humanity Chapter within 12 months of the GSE Plat’s recordation, and will be stubbed in for deep and shall utilities by the Owner/Developer before then. The local Chapter must construct the home within five years of the dedication. Based on discussions with their Executive Director, April-Dawn Knudsen, this will mostly likely happen much sooner. They are very excited to begin construction of the home and hope to do so as soon as possible once the land is dedicated to them.

We have been working closely with the County Housing Director on the workforce housing units amenity package. Per the Development Agreement, the Owner/Developer agreed to provide the Housing Director the opportunity to review/approve the fixtures and appliances planned for each unit prior to site plan approval of the unit. This is to include the washers and dryers, water heaters and furnaces or other heating elements, countertops, cabinetry, and other design elements. The base amenity package is to include storage, garage space and all appliances. All of the workforce housing units will contain 4 bedrooms and be priced at 100% Average Median Income (AMI). The Housing Director has approved the amenities package list and a copy of it has been attached for your reference.

Architecture and Site Plan

Contemporary mountain architecture is planned utilizing natural and natural appearing colors and materials to help the homes blend into the mountain backdrop. In order to minimize future maintenance of the units, the exterior materials have been chosen for their durability and longevity. Many of these materials are also fire retardant. A combination of horizontal lap fiber cement,

vertical board and batten fiber cement, and metal will be used to side the homes. Glulam beams, boards and fascia, metal railings, fiber cement decking, vinyl windows, and raised panel metal garage doors will add interest, and a combination of composition shingle and metal roofs will cover the homes. Two designs/color palettes will be used to add variety and differentiation to the units. (Please refer to the plans and material and color sample board for details.) Dark Sky Compliant/full cut-off, Portfolio Dovray lights in oil rubbed bronze (model FS130125-29), will be used for all exterior lighting so that adjacent properties and wildlife are protected from glare. (Please see the attached cut sheet for the lighting's details.)

The two story homes are arranged in a duplex configuration—upslope units with tuck-under tandem parking/garages and downslope units with side-by-side parking/garages. The Habitat for Humanity Home is a single upslope unit with a tandem parking/garage. Understanding the importance of blending into the mountain setting and not disrupting the views of adjacent properties, all the homes are approximately 30 feet tall—well under the 35 foot maximum height allowed by the PUD and Development Code.

Rather than individual refuse pick-up, a community dumpster enclosure is shown on Tract E. It is 168 square feet and matches the design of the units in materials and colors. Recycling areas are included inside of it. The homeowner associations will be responsible for this building and working with a refuse/recycling provider. (This will be included in the forthcoming homeowner association documents.)

Disturbance envelopes have been designated for Tracts A, B and E via the PUD's conceptual development plan and the forthcoming GSE Plat's recordation. The disturbance envelopes are set back 35 feet from Baldy Road, 25 feet from Sallie Barber Road, and 25 feet from the remaining side and rear property lines. All structures, decks, overhangs and building grading are located within these envelopes. Surface parking areas and associated grading will extend beyond the envelopes. According to the PUD, surface parking is allowed within 10 feet of the property lines per sections 3505.13.F.2.a and 3505.13.F.2.c of the Development Code. As illustrated on the site plan, the 10 foot parking setback requirement has been met.

A geotechnical report has been prepared for the entire Trails at Berlin Placer property by H-P Kumar, and was reviewed and approved during the PUD process. Un-natural steep slopes associated with the old hydrologic mining area were found on Tracts B and C. The report noted the erosion potential of its steeper areas (30%+ slopes) and suggested all structures be set back 25 feet from them, or the slopes mitigated with the placement of embankment fill (encompassing a five foot off-set at finished grade to a 2H:1V) or that a retaining wall be constructed to reinforce the slope. The 30%+ slopes have been avoided. The plans show a portion of Unit 20's front porch deck and its column/pier, and surface parking in the 25 foot setback area. Our civil engineer is currently working to determine which mitigation method is most appropriate for these improvements. Retaining walls associated with the driveways are also allowed outside of the envelopes. These will be natural boulder walls. Please refer to the plans for site coverage details regarding impervious, pervious, open space and snow storage locations and calculations. (A copy of the Trails at Berlin Placer Preliminary Drainage Report, a Preliminary Geotechnical Engineering Study, Pavement Thickness Design, and Geological Hazard Evaluation has been attached.)

Access

Adequate access is shown on this site plan and the access plan has already been conceptually vetted and approved by all relevant agencies during the detailed and lengthy PUD process. Maintenance of the roads will be handled privately via the master homeowner association.

Access to the property will be taken from Baldy Road via Sallie Barber Road. Sallie Barber Road will be improved to County road design standards and Berlin Placer Road will be constructed to serve the future workforce housing, common area/homeowner association building, and single family homes. Infrastructure and road improvements will begin this spring as soon as the snow melts.

Grading and Drainage, Utility, and Erosion Control plans have been prepared by our civil engineer and included in this submittal package. A Trails at Berlin Placer Preliminary Drainage Report and engineered road and driveway plans were previously submitted to the County and were reviewed and approved. The Red White and Blue Fire Protection District also approved the conceptual design and locations of the driveways shown in the PUD. Another Preliminary Drainage Report has been provided with this application. (It is basically the same as the original report. The content has not changed. It has only been updated with the Permontes Group letterhead/logo and various paragraphs re-arranged.)

The Trails at Berlin Placer Traffic Impact Study Final Report was prepared by Felsburg, Holt and Ullevig in February 2017 was also review and approved by the County in connection with the PUD/Rezoning request. The analysis indicated that the existing roadway system has sufficient reserve capacity to accommodate the projected increase in traffic with the Berlin Placer Development and the area's projected growth—in both the short and long range futures. The study found the level of service (LOS) within the study area will remain acceptable—at A or B, and that the projected traffic volumes do not warrant auxiliary turn lanes at the intersection of Baldy and Sallie Barber roads. (Another copy of the traffic study has been attached for reference.)

Thus, all roads, driveways and infrastructure improvements will met all applicable requirements of the Road and Bridge Standards of the Development Code.

Transit Stop and Shelter

A new transit stop and shelter is shown on the southeast corner of Tract A, adjacent to Baldy Road. The transit stop has been relocated along the Baldy Road right-of-way for safety purposes. (This is a safer location than currently exists based on site distances, grades and additional waiting area.) The location of the bus stop and the design of the bus shelter have been specified by Summit Stage. They have required the use of their standard bus shelter for safety and maintenance reasons. As required by the PUD, the shelter will be constructed/placed by the Owner/Developer within six months after the County's request to do so. The shelter and land will be dedicated to Summit Stage or the County for ownership and maintenance, and any additional necessary easements will also be granted. At this time, it is our intent to construct/place the transit stop and transit stop at the end of this year's Phase 1 construction—once the internal roads have been constructed and temporary

construction access is no longer needed from Baldy Road. The Owner/Developer will do their best to construct the shelter and stop as planned, but note that they are weather and construction schedule dependent.

Landscaping, Open Space and Trails and Public Use Area (PUA) Fee

A mixed conifer forest covers Tracts A and B consisting of Lodgepole pines, Engelmann spruce, and sub-alpine fir. The Lodgepole pines range from 35 to 50 feet in height with trunk diameters of 6 to 10 inches. The spruce and fir trees are multi-story stands estimated to be about 40 to 50 feet tall with trunks 8 to 15 inches in diameter. Existing trees will be preserved whenever possible based on the location of the proposed improvements and defensible space requirements. In order to provide privacy for the future residents and buffer the project from Baldy Road, Sallie Barber Road and the adjacent properties, a high quality landscaping plan is proposed consisting of Colorado spruce, aspens, and shrubs. Drip irrigation will be provided to all new plantings. The new landscaping will add diversity to the forest in terms of tree species, height and age. In addition, all areas disturbed by construction will be revegetated with a Summit County native grass seed mix. (Please refer to the attached landscape plan for details.)

Important trails and trail connections such as the Sallie Barber Trail, Barney Ford Trail and Juniata Trails are located within the Berlin Placer property, but currently, public trail easements do not exist for all of them. Per the terms of the PUD, all trails will be dedicated to the County for public non-motorized/passive recreational use, approximately 5.14 acres of open space will be dedicated to the County as public open space (Tract C), and an additional 0.81 acres will be given through a public open space easement for public recreational uses across the entirety of Tract D. The open space will be formally dedicated no later than at the platting of the 5th market rate lot on nearby Tract F. Per the terms of the Development Agreement, a temporary Open Space Easement will be submitted to the County for review, approval and eventual recordation, to allow for the public's use of the open space and trails to span the interim between the Development Agreement until the recordation of that plat.

Many of the trails are unsustainable and in need of repair and/or relocation. Thus, the trails will be relocated as needed by the Owner/Developer in cooperation with the Open Space and Trails Department. As required by the PUD, a minimum 10 foot separation (measured from the centerline of the trail) will be maintained between the trails and the proposed homes. The proposed trails have been shown on the attached site plan.

Trail improvements are also planned for the Sallie Barber trailhead area that is off site on Tract C. The parking area will be improved with 20 parking spaces that will be designed and located in cooperation with the Open Space and Trails Department and the County Engineer. The Owner/Developer will maintain the parking area (snow plowed during the winter) and the County will maintain any other trailhead improvements that they install. The parking improvements will also be constructed and dedicated prior to the recordation of the above mentioned plat. In addition to the 20 parking space areas, the Owner/Developer will also offer the County an easement for an area near Lot 6, Tract F sized to accommodate ten additional public parking spaces prior to the final platting of Lot 6, Tract F.

All trails on the entire Trails at Berlin Placer property will be open during construction, and construction and recreational use conflicts will be minimized as much as possible. The Development Agreement's Preservation of Maintenance Responsibilities Agreement requires a trail management plan to be developed in cooperation with the Open Space and Trails Department to ensure that the trails on the property will remain open and usable, to the extent practical, during construction. The safety of trail users is important to us and we will be glad to work with the Open Space and Trails Department on this plan. As mentioned above, this Agreement must be reviewed/approved by the County prior to site plan or final plat approval—whichever application is applicable. It must be executed and recorded prior to recordation of any final plat or townhome plat for any phase of the project.

No additional public open space or public use area (PUA) is required in connection with this site plan application. Not only does Development Code section 3509.02 exempt affordable workforce housing projects from providing a PUA, per PUD section B.3.a., the open space requirements of the Development Code for each individual single family lot, development tract, and for the Berlin Property as a whole were met with the combination of the large amount of proposed public open space, public trail improvements, dedications, and site disturbance envelopes.

Geotechnical Report and Steep Slopes

As mentioned above, a Preliminary Geotechnical Engineering Study, Pavement Thickness Design, and Geological Hazards Evaluation has been prepared by H-P Kumar. Un-natural steep slopes associated with the old hydrologic mining area were found on Tracts B and C. A few shallow prospect pits were also found throughout the property, generally three to five feet deep, and occupying areas less than 150 square feet. There was no evidence of underground mining activity at all. Due to the possible instability of the un-natural steep slopes from the hydraulic mining, the report recommended all structures be setback a minimum of 25 feet from slopes in excess of 30%, or mitigation provided with embankment fill or the use of retaining structures to stabilize the slopes. The 30% hydraulic mining slope areas have been avoided. Only a small portion of Unit 20's deck/columns and surface parking area are in the recommended setback. Our civil engineer is currently working to determine the best mitigation technique to use—the fill/compaction and/or retaining recommendations of this report. A slope analysis of the property has also been prepared showing areas in excess of 30% slopes. It too has been attached. All 30%+ slopes have been avoided on the property.

Forest Management

A Fuel Modification/Defensible Space Plan has been prepared by Ceres Landcare in order to improve the overall forest health, improve wildlife habitat and reduce the potential for wildfire. The Trails at Berlin property was found to have the "lowest" Wildfire Risk Rating and Wildfire Threat Rating based upon the property's fuels, topography and weather. As suggested by the Plan, defensible space around each future home will be created in order to further reduce the intensity of a wildfire—whether the ignition source is within or outside of the property boundaries. The defensible space requirements of Summit County and the Red White and Blue Fire Protection District will be followed. (This Plan was originally submitted during the review of the PUD and has been attached again for reference.)

Water Supply, Sanitation Disposal and Other Utility Providers

Water will be provided by the Town of Breckenridge for all development on the Trails at Berlin Placer property—serving all indoor and outdoor uses. A letter has been provided from the Town indicating that water is available to do this. Per the terms of the PUD and Development Code, evidence of adequate means of water supply must be provided prior to preliminary plat approval and definitive evidence must be provided prior to final plat approval. Per the PUD’s Condition of Approval #3, “Prior to site plan approval for the workforce housing units, a Water Service Agreement will be finalized so that the in-town rates are guaranteed.” Thus, we are currently working with the Town of Breckenridge on the Out of Town Water Service Agreement. We anticipate that Agreement attaining final form well before site plan approval

The Upper Blue Sanitation District (“District”) is willing and has the capacity to serve the Trails at Berlin property. A letter from the District has also been provided regarding their position. All formal measures to provide service to the property will be provided per the Development Code and the District’s regulations. Once again, prior to the preliminary plat approval of the market rate lots, evidence of adequate means of waste water disposal will be provided to the County for review/approval, and definitive evidence will be provided prior to final plat approval.

A Will Serve Letter from Xcel Energy has also been submitted indicating their ability to provide gas and electric services to the entire Trails at Berlin Placer property. All improvements will be installed per Xcel and Summit County regulations.

There are no existing overhead power lines on the property. As per Code, all new utility lines will be located underground. We understand that we are responsible for all costs associated with bringing water, wastewater disposal service and utilities to the property.

Density Extinguishment

As vacant land becomes scarce and home prices continue to escalate in Summit County, construction of local workforce housing units becomes more important to the overall vitality of the community. The provision of affordable workforce housing has become one of the top priorities, if not the highest priority, of the County and towns. The 20 workforce housing units and one Habitat for Humanity Home are an integral part of the Trails at Berlin Placer PUD and Development Agreement. In order to account for these units and their density, a condition of approval was placed on the PUD that stated, “Prior to the issuance of Certificates of Occupancy for the deed restricted affordable housing units, the County shall extinguish the corresponding density per the JUBMP policy of 1:2 ratio.” We will be glad to submit any needed application or paperwork to facilitate the required County density extinguishment.

Criteria for Decision

The proposed site plan and associated buildings represent a relatively simple and straightforward request, and we believe the Development Code criteria for site plan approval is readily satisfied. Tracts A and B have been contemplated for workforce housing for many years through the Trails

at Berlin Placer PUD, and all related standards are being met. With this context in mind, the present application readily satisfies the criteria for approval as set forth in Section 12603.02 of the Development Code.

Per the Development Code, site plan review is considered a technical review—if a site plan application request meets all applicable County regulations and standards, is consistent with previous plans applicable to development of the site, and complies with any applicable conditions, it shall be approved.

This site plan has been meticulously designed to ensure that it reflects and promotes all aspects of prior approvals, and all regulatory and design requirements of the Code and the PUD. Accordingly, the application firmly meets the criteria for site plan review.

Section 12603.02 sets forth the criteria for site plan approval and we have elaborated on each criteria point outlined below.

A. The application complies with County Zoning Regulations, including but not limited to use regulations, any applicable PUD requirements, design standards and other development regulations and standards.

The proposal fully complies with the County’s zoning regulations in terms of use, design, and other key considerations, and falls squarely within the parameters set forth in the PUD. The proposed site plan reflects the PUD’s conceptual development plan with additional layers of detail.

The site plan also reflects all of the design standards established in the PUD in terms of building density, design, height, setbacks, access, parking, and the like. All uses and accessory uses shown on this site plan are fundamentally residential in nature, and thus adhere to the zoning contemplated for such uses for this site.

Further, the Summit County Rezoning policies are intended to ensure that development constraints are avoided, that development contemplates the terrain and natural features of the site, and maintains compatibility with existing development in the vicinity. This site plan effectively ensures that such restraints are adhered to and such natural features protected. The site plan further ensures that there is adequate infrastructure to accommodate the proposed development. Water and sanitary sewer mains are planned throughout the site and are adequately sized for service by the Upper Blue Sanitation District and Breckenridge Water.

This site plan and its proposed land uses, density and overall development plan comports with all zoning standards to the satisfaction of the County Code and the Upper Blue and Joint Upper Blue Master Plans. There are no new development constraints implicated, and no new uses or development proposed, which could upset the delicate balance attained in the past proposals.

B. The application complies with County Road & Bridge standards.

The application complies with all applicable County Road and Bridge standards of the Development Code. As part of the previous Trails at Berlin Placer PUD process, multiple plans

and studies were submitted to the County for review and found to meet all applicable Road and Bridge standards. These included engineered road and driveway plans, A Trails at Berlin Placer Preliminary Drainage Report, a Preliminary Geotechnical Engineering Study, Pavement Thickness Design, and Geological Hazard Evaluation, and The Trails at Berlin Placer Traffic Impact Study Final Report. The proposed workforce housing site plan conforms to these studies and all other applicable requirements of the County's Road and Bridge standards. Any design elements that are not in strict adherence to the Code standards are in compliance with the specific PUD standards for the same.

C. The application complies with County Subdivision Regulations.

The purpose of the County's Subdivision Regulations is to ensure the health, safety and welfare of the public and to protect the County's natural resources. The regulations seek to ensure that sensitive land is preserved, hazardous areas are avoided, and that adequate utilities and roadway infrastructure is provided to future developments.

The PUD and Development Agreement specifically contemplated the subdivision and eventual development of the Trails at Berlin Placer property and provided detailed requirements as to how and when these would take place. Thus, a GSE Plat has recently been submitted that will create the six tracts—A through F. No salable tracts or lots will be created with the GSE Plat. The GSE Plat merely creates the development tracts to facilitate construction of the workforce housing and Habitat for Humanity home. The proposed workforce housing units will be built on Tracts A and B, and the community dumpster enclosure will be constructed on Tract E as was specified in the PUD. We understand that the GSE Plat must first be reviewed, approved and recorded prior to the commencement of construction for these units. No restrictions other than the proposed site disturbance envelopes and access, drainage, utility, and snow storage easements will be created with the GSE Plat. The proposed site plan is consistent with the proposed GSE Plat. We will be glad to meet any applicable conditions of the GSE Plat's approval. Once the workforce housing units are under construction, multiple townhome plats will be submitted to the County for review/approval in order to create the workforce units so that they may be sold to qualified locals.

In terms of the infrastructure, adequate infrastructure and utilities exist, or will be brought to the property, per the requirements of Development Code and the PUD. As mentioned above, water will be provided by the Town of Breckenridge and wastewater disposal will be provided by the Upper Blue Sanitation District. Both of these entities have already indicated they have the capacity to serve the residential units. We are currently working with the Town of Breckenridge on the Out of Town Water Service Agreement and with the Sanitation District as well, in an effort to facilitate and expedite the establishment of infrastructure on the property. Xcel Energy has also stated that they are willing and have the ability to provide gas and electric services to the entire Trails at Berlin Placer property. We understand that all application fees and costs associated with bringing these services and utilities to the property are the responsibility of the Owner/Developer, except where specifically addressed in any other fashion in the PUD or the Development Agreement.

As mentioned above, the only hazardous areas on the entire Berlin Placer property are on Tracts B and C—the steep slopes associated with the old hydrologic mining area. A few shallow prospect pits were also found throughout the property, generally three to five feet deep, and occupying areas

less than 150 square feet. There is no evidence of underground mining activity. Due to the possible instability of the un-natural steep slopes from the hydraulic mining, the H-P Kumar report recommended all structures be setback a minimum of 25 feet from the slopes in excess of 30% or mitigation provided with embankment fill or the use of retaining structures to stabilize the slopes. The 30%+ areas have been avoided. Only a small portion of Unit 20's deck/column and surface parking are in the recommended setback. Our civil engineer is currently working to determine the best technique for these areas—please refer to the fill/compaction and/or retaining recommendations of the H-P Kumar report for details.

Accordingly, this workforce housing site plan application complies with the County's applicable Subdivision Regulations.

D. The application complies with any previous plans approved for the site still in effect.

This site plan application is an integral part of the overall development plan for the Trails at Berlin Placer PUD that was approved on August 22, 2017 by the Board of County Commissioners and recorded on April 22, 2020 under reception #1224491. No previous site plan has been approved for this property that is still in effect. The only applicable development approvals are the PUD and its accompanying Development Agreement, and the recently approved GSE Plat application. This site plan application complies with all of the applicable terms and requirements of the Development Agreement, PUD and the PUD's conditions of approvals.

E. The application complies with any conditions imposed on development of the site through previous approvals.

A number of applications and documents have been submitted, and will be submitted, in order to develop the Trails at Berlin Placer residential community. Preliminary and Final PUD/Rezoning applications and an Upper Blue Master Plan Transferable Development Right (TDR) Map amendment application were submitted, reviewed and approved for the property. A Development Agreement was also entered into by the Owner/Developer and the County with the PUD to provide details on the on the timing and sequencing of the development, dedication of the public benefits, and the content of various future documents. A GSE Plat application has recently been submitted to create the six future development tracts. Numerous County requirements were incorporated into the Development Agreement and the PUD itself, and a few additional conditions of approval were placed on the PUD to ensure that the various requirements would be met. All of these have been noted and discussed in this project narrative. The documents tied to site plan approval will be provided as soon as they are completed—as is typical for such materials tied to a site plan approval.

Conclusion

We believe that we have met, or are in the process of meeting, all of the obligations that are applicable to this workforce housing site plan request. Again, this site plan reflects all the expectations, commitments, and obligations of the PUD, as specifically tailored to this property. Also as mentioned, the property is currently subject to the General Subdivision Exemption process to combine the two existing parcels and allow for the creation of the development parcels, open

space parcels, and preservation parcels that are a precursor to further development. We intend to meet all other County dedication requirements for the Trails at Berlin Placer development at the appropriate required time. However, if we have inadvertently overlooked any item, please let us know so that we may quickly address it. Thus, we believe that the proposed affordable work force housing has been well designed and that all applicable requirements of the Trails at Berlin Placer PUD, Development Agreement and Development Code have been met with this request.

The project will be an asset to the community by providing much needed affordable housing for locals. Viewed through the context presented herein, this project is a very positive component of the overall vision for the Trails at Berlin Placer PUD, the Upper Blue Master Plan, and Summit County as a whole. The site plan readily meets the technical requirements for approval in what is properly considered a ministerial review. We look forward to moving ahead in a cooperative manner with the County in this proposal and the related platting efforts, and thank Summit County for the opportunity to do so.

TRAILS at BERLIN PLACER

TRACTS A and B

LEGAL DESCRIPTION

TRACTS A AND B
TRAILS AT BERLIN PLACER

0106 SALLIE BARBER ROAD
SUMMIT COUNTY, COLORADO

GENERAL NOTES

- 1) **COPYRIGHT:**
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, AIA/A/P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) **CODES:**
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for establishing all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) **FIELD VERIFICATION:**
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) **DIMENSIONS:**
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) **DISCREPANCIES:**
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) **DUTY OF COOPERATION:**
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) **CHANGES TO THE WORK:**
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) **WORKMANSHIP:**
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) **SUBSTITUTIONS:**
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) **CONSTRUCTION SAFETY:**
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) **EXCAVATION PROCEDURES:**
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) **FIELD CUTTING OF STRUCTURAL MEMBERS:**
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) **WEATHER CONDITIONS:**
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) **BUILDING AREA:**
Building areas are shown for code purposes only and shall be recalculated for any other uses.
- 15) **PROJECT STAKING:**
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.
- 16) **SITE DISTURBANCE:**
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) **PROJECT GRADES:**
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) **EXTERIOR MATERIAL MOCK UP:**
The General Contractor shall provide a mock up of all exterior materials for review by the Owner and Architect. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0" x 3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.



UPSLOPE UNIT



DOWNSLOPE UNIT

VICINITY MAP



SHEET INDEX

T11	TITLE SHEET and GENERAL NOTES
C-1	CIVIL PLANS UNDER SEPERATE COVER
SP11	OVERALL SITE PLAN
SP12	PROPOSED SITE PLAN
SP13	PROPOSED LANDSCAPE PLAN
SP14	LANDSCAPE NOTES, DETAILS WITH DUMPSTER
A13	ROOF PLAN A
A21	BUILDING ELEVATIONS A
A22	BUILDING ELEVATIONS A
A13	ROOF PLAN B
A21	BUILDING ELEVATIONS B
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A21	BUILDING ELEVATIONS D
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A13	ROOF PLAN E
A21	BUILDING ELEVATIONS E
A22	BUILDING ELEVATIONS E
A13	ROOF PLAN F
A21	BUILDING ELEVATIONS F
A22	BUILDING ELEVATIONS F
A13	ROOF PLAN G
A21	BUILDING ELEVATIONS G
A22	BUILDING ELEVATIONS G
A13	ROOF PLAN H
A21	BUILDING ELEVATIONS H
A13	ROOF PLAN I
A21	BUILDING ELEVATIONS I
A22	BUILDING ELEVATIONS I
A13	ROOF PLAN J
A21	BUILDING ELEVATIONS J
A22	BUILDING ELEVATIONS J
A13	ROOF PLAN K
A21	BUILDING ELEVATIONS K
A22	BUILDING ELEVATIONS K

SURVEYOR:

RANGE WEST ENGINEERS 4 SURVEYORS
P.O. BOX 588
SILVERTHORNE, COLORADO 80498
(970) 468-6281
info@rangewestinc.com

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160 EAST ADAMS STREET
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(970) 453-6880
mhogan@bhpartners.com

PLANNER:

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christie@matheusleidal.com

CIVIL ENGINEER:

PERMONTES GROUP
KEN CURRIAN
108 SOUTH SUNSET, UNIT H
LONGMONT, CO 80501
(720) 684-4981
kcurrian@permontesgroup.com

STRUCT. ENGINEER:

TBD

CONTRACTOR:

COMPASS HOMES DEVELOPMENT
BLAKE SHUTLER
P.O. BOX 6539
DILLON, COLORADO 80435
(970) 418-0066
blakes@compasshomesdev.com

DEVELOPER:

BERLIN PLACER DEVELOPMENT, LLC.
JEFF FRANCIS
P. O. BOX 1871
BRECKENRIDGE, CO 80424
(970) 368-2833
jeff@trailsatberlin.com

OWNER:

LANGE BERGER LLC
P. O. BOX 1871
BRECKENRIDGE, CO 80424

REVISIONS:

JOB NO: 596211
DATE: 05/19/2020
DRAWN BY: T. SHAFER

CHECKED BY: M.HOGAN

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PROGRESS SET:
05/19/2020

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TRAILS AT BERLIN PLACER
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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SHEET NUMBER:

T1.1

TITLE SHEET, GENERAL
NOTES, SCHEDULES AND
INFORMATION

LOT COVERAGE - TRACT A & B

	SQ. FT.	PERCENTAGE
BUILDING FOOTPRINTS (INCLUDES: OVERHANGS & DECKS)	30,912 SF.	19.6%
HARDSCAPE (DRIVEWAY)	22,822 SF.	14.4%
OPEN SPACE	104,248 SF.	66%
TOTAL LOT SIZE *PENDING GSE FLAT	158,042 SF.	100%

LOT COVERAGE - TRACT E

	SQ. FT.	PERCENTAGE
BUILDING FOOTPRINTS (INCLUDES: OVERHANGS & DECKS)	203 SF.	0%
HARDSCAPE (DRIVEWAY)	687 SF.	0.65%
OPEN SPACE	9,616 SF.	92.5%
TOTAL LOT SIZE *PENDING GSE FLAT	10,506 SF.	100%

BUILDING MATRIX

	BLDG'S	FINISHED	UNFINISHED	TOTAL
HABITAT	1	1,758 SF.	454 SF.	2,212 SF.
UPSLOPE	5	17,430 SF.	4,540 SF.	21,970 SF.
DOWNSLOPE	5	16,810 SF.	4,100 SF.	20,910 SF.
DUMPSTER	1	0 SF.	168 SF.	168 SF.
TOTAL	12	35,998 SF.	9,262 SF.	45,260 SF.

REQUIRED SNOWSTACK

	SQ. FT.	%
HARDSCAPE (WALKS & DRIVEWAY)	22,822 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	5,706 SF.	25%
TOTAL SNOW STACK	6,424 SF.	28%

CONTOUR LEGEND

EXISTING MINOR	---	DRAINAGE ARROW	→
EXISTING MAJOR	---	SPOT GRADE AT DOT	•
PROPOSED	---		

SITE NOTES

UNIT MIX:
 20 WORKFORCE HOMES
 1 HABITAT HOME
 SUBTOTAL 21 UNITS (60%)
 14 SINGLE FAMILY LOTS
 SUBTOTAL 14 UNITS (40%)

ALL ROADS AND DRIVES TO BE PER COUNTY STANDARDS (60' ROW) FOR COUNTY ROADS)

TRAILS TO BE PROVIDED AS SHOWN. EXACT LOCATION TO BE PER FINAL SURVEY AND SITE VISITS

BUS STOP AND BUS SHELTER PROVIDED AT BALDY ROAD. AS APPROVED BY SUMMIT STAGE

INDICATED SQ. FOOTAGES ARE FOR TOTAL LOT SIZES

BUILDING ENVELOPES SHOWN TO CONTAIN BUILDINGS AND OVERHANGS. A DISTURBANCE ENVELOPE IS LOCATED 5'-0" OUTSIDE OF BUILDING ENVELOPE.

LOTS 12, 3, 8, AND 9 TO BE SERVED BY DRIVES OFF OF BERLIN PLACER ROAD

LOTS 4, 5, 6, AND 7 TO BE SERVED OFF OF UPPER PRIVATE DRIVE

LOT 10 TO BE SERVED BY PRIVATE DRIVE OFF OF SALLIE BARBER ROAD

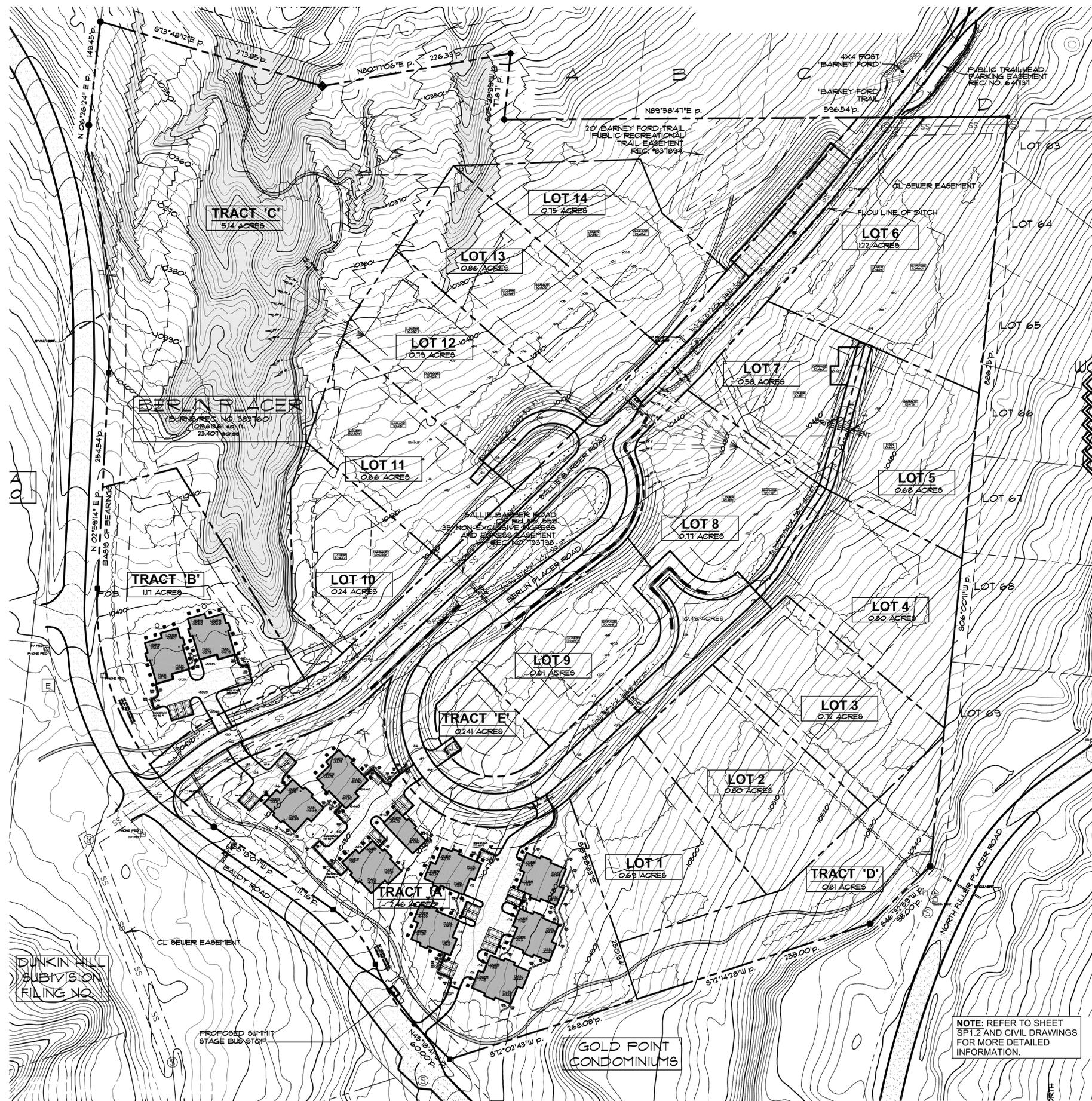
LOTS 11, 12, 3, AND 14 TO BE SERVED BY SHARED DRIVE OFF OF SALLY BARBER ROAD

SITE COVERAGE

	LOT SIZE	ENVELOPE SIZE
TRACT A - AFFORDABLE WORKFORCE HOUSING	107,017 SF 2.46 AC	
TRACT B - AFFORDABLE WORKFORCE HOUSING	51,025 SF 1.17 AC	
TRACT C - PUBLIC OPEN SPACE	224,081 SF 5.14 AC	
TRACT D - PRIVATE OPEN SPACE WITH A PUBLIC OPEN SPACE EASEMENT	35,271 SF .81 AC	
TRACT E - HOA/ PRIVATE OPEN SPACE	10,506 SF .24 AC	3,273 SF 0.08 AC
TRACT F		
LOT 1	29,908 SF 0.69 AC	10,158 SF 0.23 AC
LOT 2	34,884 SF 0.80 AC	12,658 SF 0.29 AC
LOT 3	31,265 SF 0.72 AC	11,240 SF 0.26 AC
LOT 4	34,716 SF 0.80 AC	15,414 SF 0.35 AC
LOT 5	29,484 SF 0.68 AC	11,778 SF 0.27 AC
LOT 6	53,104 SF 1.22 AC	14,517 SF 0.33 AC
LOT 7	25,121 SF 0.58 AC	9,118 SF 0.21 AC
LOT 8	33,473 SF 0.77 AC	10,564 SF 0.24 AC
LOT 9	26,505 SF 0.61 AC	9,864 SF 0.23 AC
LOT 10	24,675 SF 0.57 AC	8,853 SF 0.20 AC
LOT 11	28,979 SF 0.66 AC	10,654 SF 0.24 AC
LOT 12	34,595 SF 0.79 AC	14,839 SF 0.34 AC
LOT 13	37,447 SF 0.86 AC	10,512 SF 0.24 AC
LOT 14	32,780 SF 0.75 AC	8,889 SF 0.20 AC

SITE COVERAGE

	LOT SIZE	%
TRACTS A & B - AFFORDABLE WORKFORCE HOUSING	158,042 SF 3.63 AC	15.5%
TRACT C - PUBLIC OPEN SPACE	224,081 SF 5.14 AC	22%
TRACT D - PRIVATE OPEN SPACE WITH A PUBLIC OPEN SPACE EASEMENT	35,271 SF .81 AC	0.35%
TRACT E - HOA/ PRIVATE OPEN SPACE	10,506 SF .24 AC	0%
TRACT F - SINGLE FAMILY LOTS	457,051 SF 10.49 AC	44.8%
TRACT F - DISTURBANCE ENVELOPES	159,058 SF 3.65 AC	(15.6%)
ROAD ROW	134,818 SF 3.10 AC	13.2%
TOTAL AREA	1,019,614 SF 23.41 AC	100%



OVERALL CONCEPTUAL SITE PLAN

SCALE: 1" = 60'-0"



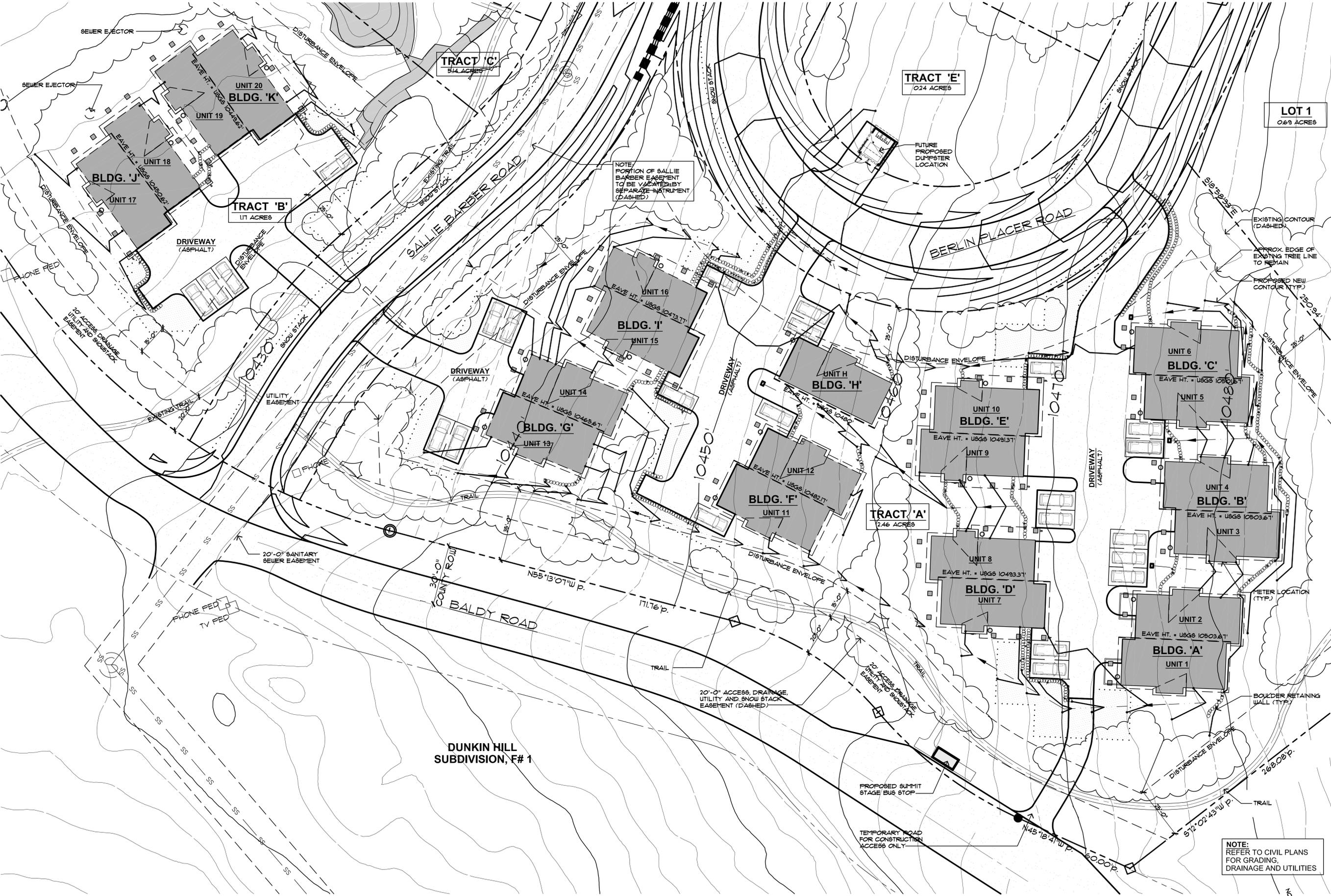
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 05/19/2020

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TRAILS AT BERLIN PLACER
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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 SHEET NUMBER:
SP1.1
 OVERALL SITE PLAN

NOTE: REFER TO SHEET SP1.2 AND CIVIL DRAWINGS FOR MORE DETAILED INFORMATION.



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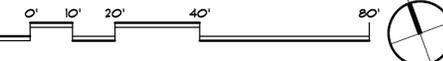
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TRAILS AT BERLIN PLACER
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

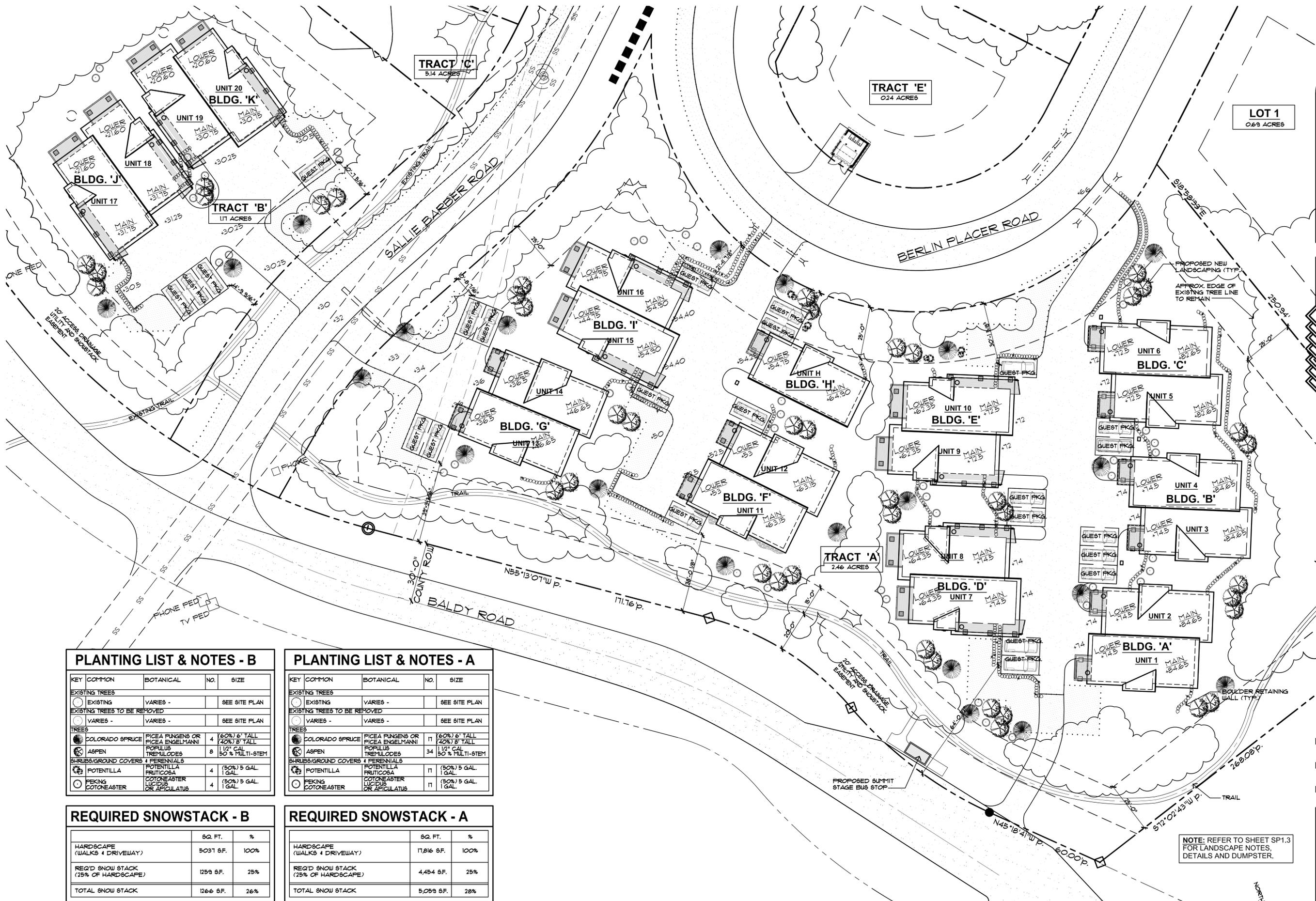
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 SHEET NUMBER:
SP1.2
 PROPOSED SITE PLAN

OVERALL SITE PLAN

SCALE: 1" = 20'-0"



NOTE:
 REFER TO CIVIL PLANS
 FOR GRADING,
 DRAINAGE AND UTILITIES



REVISIONS:

JOB NO: 596211
 DATE: 05/19/2020
 DRAWN BY: T.SHAFFER
 CHECKED BY: M. HOGAN

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TRAILS AT BERLIN PLACER
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 SHEET NUMBER:
SP1.3
 PROPOSED LANDSCAPE PLAN

PLANTING LIST & NOTES - B

KEY	COMMON	BOTANICAL	NO.	SIZE
○	EXISTING TREES			SEE SITE PLAN
○	EXISTING TREES TO BE REMOVED			SEE SITE PLAN
○	VARIABLES -			SEE SITE PLAN
○	VARIABLES -			SEE SITE PLAN
○	TREES			
○	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	4	(60%) 6" TALL (40%) 8" TALL
○	ASPEN	POPULUS TREMULOIDES	8	1/2" CAL 50% MULTI-STEM
○	SHRUBS/GROUND COVERS & PERENNIALS			
○	POTENTILLA	POTENTILLA FRUTICOSA	4	(50%) 5 GAL 1 GAL
○	PEKING COTONEASTER	COTONEASTER LUCIDUS OR APICULATUS	4	(50%) 5 GAL 1 GAL

PLANTING LIST & NOTES - A

KEY	COMMON	BOTANICAL	NO.	SIZE
○	EXISTING TREES			SEE SITE PLAN
○	EXISTING TREES TO BE REMOVED			SEE SITE PLAN
○	VARIABLES -			SEE SITE PLAN
○	VARIABLES -			SEE SITE PLAN
○	TREES			
○	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	11	(60%) 6" TALL (40%) 8" TALL
○	ASPEN	POPULUS TREMULOIDES	34	1/2" CAL 50% MULTI-STEM
○	SHRUBS/GROUND COVERS & PERENNIALS			
○	POTENTILLA	POTENTILLA FRUTICOSA	11	(50%) 5 GAL 1 GAL
○	PEKING COTONEASTER	COTONEASTER LUCIDUS OR APICULATUS	11	(50%) 5 GAL 1 GAL

REQUIRED SNOWSTACK - B

HARDSCAPE (WALKS & DRIVEWAY)	SQ. FT.	%
HARDSCAPE (WALKS & DRIVEWAY)	5037 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	1259 SF.	25%
TOTAL SNOW STACK	1266 SF.	26%

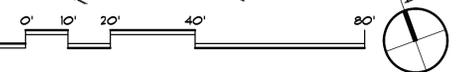
REQUIRED SNOWSTACK - A

HARDSCAPE (WALKS & DRIVEWAY)	SQ. FT.	%
HARDSCAPE (WALKS & DRIVEWAY)	17,816 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	4,454 SF.	25%
TOTAL SNOW STACK	5,059 SF.	28%

NOTE: REFER TO SHEET SP1.3 FOR LANDSCAPE NOTES, DETAILS AND DUMPSTER.

PROPOSED LANDSCAPE PLAN

SCALE: 1" = 20'-0"



**PRELIMINARY
NOT FOR
CONSTRUCTION**

REVISIONS:

JOB NO: 596211
DATE: 01/09/2020
DRAWN BY: T. SHAFER
CHECKED BY: M. HOGAN

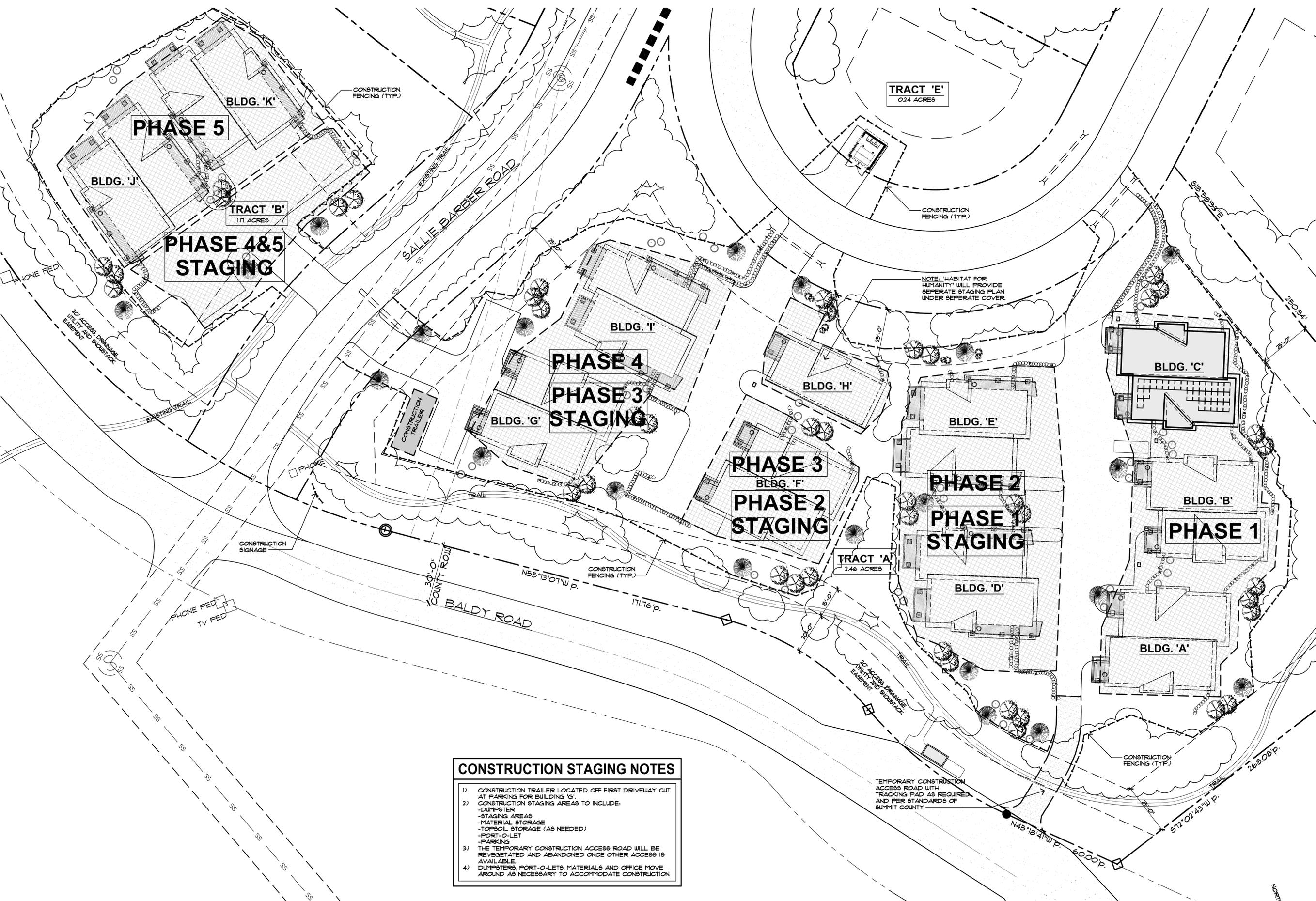
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SITE PLAN REVIEW
01/09/2020

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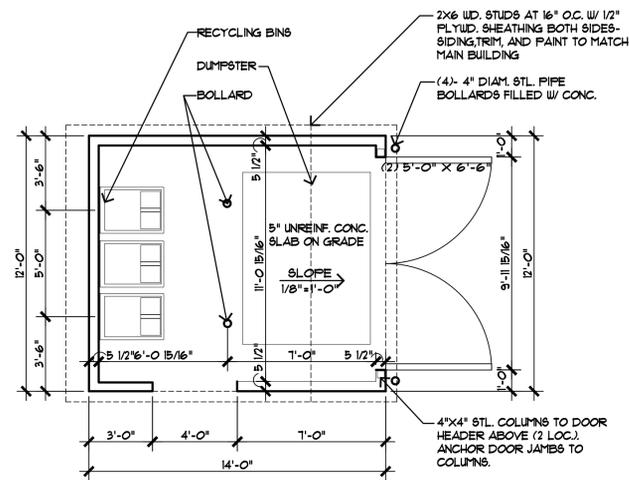
TRAILS AT BERLIN PLACER
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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SHEET NUMBER:
CMP
CONSTRUCTION
MANAGEMENT PLAN



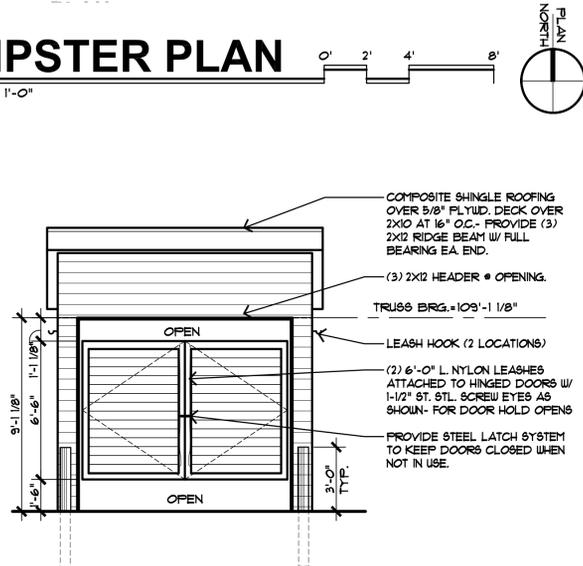
- CONSTRUCTION STAGING NOTES**
- 1) CONSTRUCTION TRAILER LOCATED OFF FIRST DRIVEWAY CUT AT PARKING FOR BUILDING 'G'.
 - 2) CONSTRUCTION STAGING AREAS TO INCLUDE:
 - DUMPSTER
 - STAGING AREAS
 - MATERIAL STORAGE
 - TOPSOIL STORAGE (AS NEEDED)
 - PORT-O-LET
 - PARKING
 - 3) THE TEMPORARY CONSTRUCTION ACCESS ROAD WILL BE REVEGETATED AND ABANDONED ONCE OTHER ACCESS IS AVAILABLE.
 - 4) DUMPSTERS, PORT-O-LETS, MATERIALS AND OFFICE MOVE AROUND AS NECESSARY TO ACCOMMODATE CONSTRUCTION

CONSTRUCTION MANAGEMENT PLAN
SCALE: 1" = 20'-0"



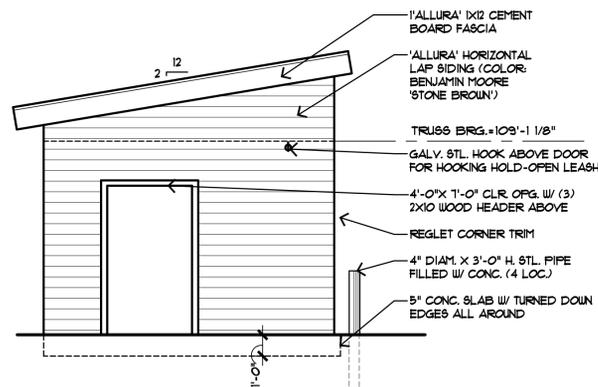
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



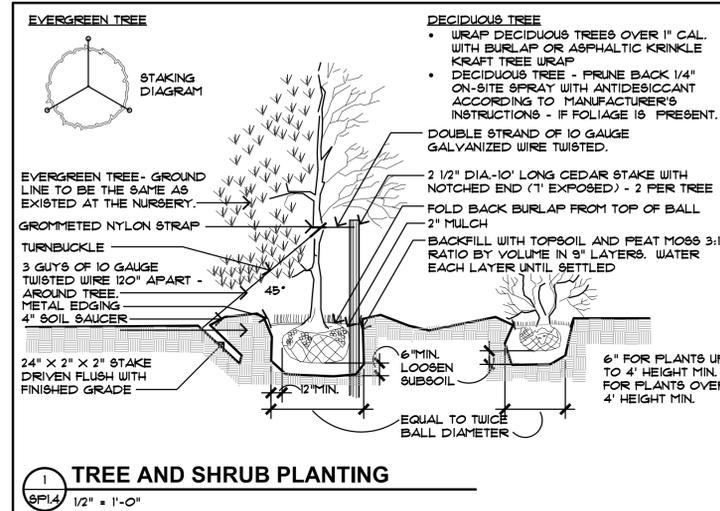
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



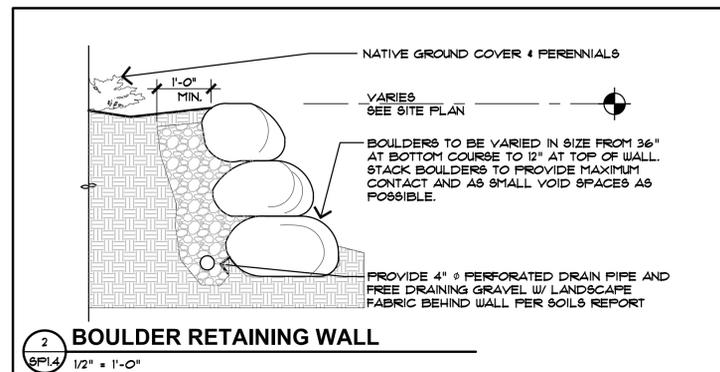
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



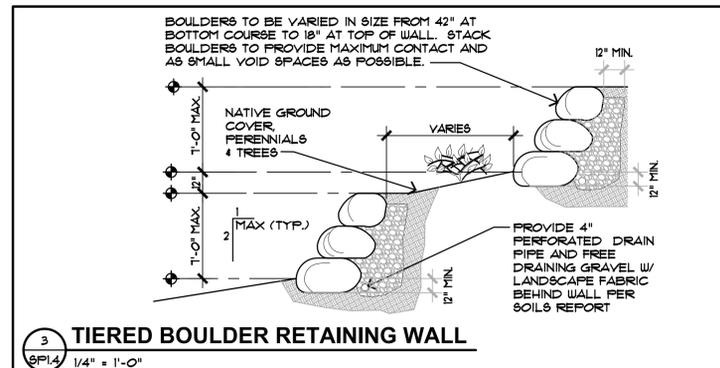
TREE AND SHRUB PLANTING

SP1.4 1/2" = 1'-0"



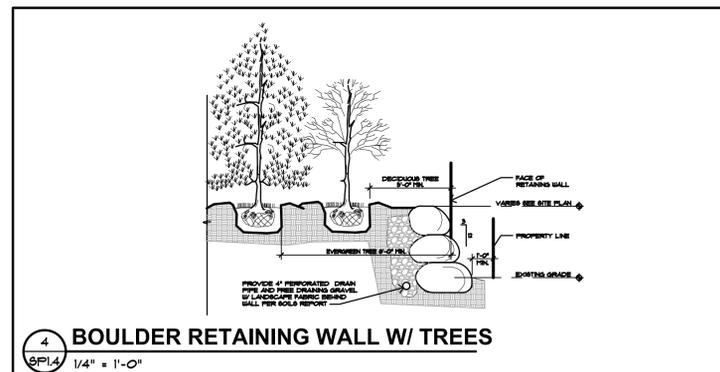
BOULDER RETAINING WALL

SP1.4 1/2" = 1'-0"



TIERED BOULDER RETAINING WALL

SP1.4 1/4" = 1'-0"



BOULDER RETAINING WALL W/ TREES

SP1.4 1/4" = 1'-0"

DEFENSIBLE SPACE

Defensible space is the natural or landscaped area around a dwelling or other structure that has been modified to reduce the spread of fire from an approaching wildland fire, or to reduce a structure fire from moving into the surrounding vegetation. Creating Defensible Space does not usually require the removal of all trees or other vegetation. Standards for defensible space: the following standards shall govern the creation of a defensible space plan.

- The property shall be divided into three zones. Zone One shall be measured 30 feet from the eave of a building or structure including attached structures or protrusions, such as a deck on the property. Zone Two is an extension of Zone One. Zone Two shall be measured to a distance of 100 feet from the eave of the building or structure, including any attached structures or protrusions, such as a deck on the property. Zone Three shall extend from Zone Two to the property boundary.
- In formulating a defensible space mitigation plan the AHJ shall consider both the horizontal clearance between aerial fuels, such as the outside edge of the tree crowns or high brush as well as the vertical clearance between lower limbs of aerial fuels and the nearest surface fuels and grass/weeds.
- In determining the action that must be taken by a landowner to establish required defensible space under this chapter each property shall be reviewed individually, and the location and other physical characteristics of the property shall be considered. Properties with greater fire hazards will require greater buffers between fuels. Without limiting the generality of the preceding provisions, when establishing the requirements for the creation of a defensible space plan, the AHJ shall consider the property's proximity to a roadway, parking lot, and other similar areas that create firebreaks. Similarly, large tracts of open space and National Forest System land that may require larger buffers shall be considered.

The following specific standards apply to the creation of defensible space within Zone One:

- Healthy trees, shrubs, and other landscaping material required by a County approved landscape plan shall be preserved.
- Trees remaining within the defensible space shall have branches limbed to a height of 10 feet, but notwithstanding said height requirement, branches need not be limbed to more than 1/3 of tree height.
- Other healthy fire-wise trees, shrubs, and other landscaping material shall be preserved if they are limbed to remove dead branches and are well spaced to reduce the risk of a fire spreading to other vegetation or structures.
- Irrigated trees, shrubs, and other landscaping material shall be preserved if they are limbed to remove dead branches and are well spaced to reduce the risk of a fire spreading to other vegetation or structures.
- All dead and diseased trees, shrubs, and other landscaping material shall be removed.
- All vegetation and combustible material shall be removed from under all eaves and decks.
- All grasses and ground cover shall be kept less than 6 inches in height.
- Leaf and needle litter and combustible ground debris shall be removed. Mulch within landscape beds that are irrigated may be maintained at a maximum depth of 3 inches.
- Additional fire-wise landscaping material is encouraged to be planted with County approval.

The following specific standards apply to the creation of defensible space within Zone Two:

- Healthy trees, shrubs, and other landscaping material required by a County approved landscape plan shall be preserved.
- Trees remaining within the defensible space shall have branches limbed to a height of 10 feet, but notwithstanding said height requirement, branches need not be limbed to more than 1/3 of the tree heights.
- Other healthy fire-wise trees, shrubs, and other landscaping material shall be preserved if they are limbed to remove dead branches and are well spaced to reduce the risk of a fire spreading to other vegetation or structures.
- Irrigated trees, shrubs and other landscaping material shall be preserved if they are limbed to remove dead branches and are well spaced to reduce the risk of a fire spreading to other vegetation or structures.
- All dead and diseased trees, shrubs, and other landscaping material shall be removed.
- Trees shall be thinned to open up crown spacing to a minimum of ten feet between the widest portions of individual crowns of the trees.
- Groups of trees may be retained as long as a minimum of ten feet between the edges of the widest portions of crowns of each grouping are maintained.
- Additional fire-wise landscaping material is encouraged to be planted with County approval.

Zone three is an area of traditional forest management and is of no particular size. It extends from the edge of your defensible space to your property boundaries.

LANDSCAPE NOTES

- PROVIDE 2"-3" (MIN) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX (AS APPROVED BY TOWN OF FRISCO. STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
 - KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY FEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES, UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE BASES.
 - RETAINING BOULDERS FROM SITE EXCAVATION WHEN POSSIBLE.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SUMMIT COUNTY.

REVEGETATION NOTES

- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SHORT DRY GRASS MIX #2 LB/1000 SF:
 HARD FESCUE 30%
 CREEPING RED FESCUE 30%
 SHEEP FESCUE 25%
 CANADA BLUEGRASS 10%
 CANBY BLUEGRASS 5%
- SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.
- MOUNTAIN MAGIC WILDFLOWER MIX #1 LB/10,000 SF:
 BABY'S BREATH BLANKETFLOWER
 CALIFORNIA POPPY SHIRLEY POPPY
 BLUE FLAX LUPINE MIX
 WALLFLOWER MAIDEN PINKS
 PENSTEMON, ROCKY MOUNTAIN WILD THYME
- ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LB/25,000 SF
 OR
- WESTERN NATIVE WILDFLOWER MIX #1 LB/6,000 SF:
 MOUNTAIN LUPINE CONEFLOWER, WESTERN COLUMBINE, COLORADO SULFUR FLOWER
 GERANIUM, RICHARDSON NODDING GROUNDSEL
 ASTER, ENGLEMANNS WESTERN LARKSPUR
 GAILLARDIA/BLANKETFLOWER AMERICAN VETCH
 ORANGE MOUNTAIN DAISY GIANT LOUSEWORT
 PENSTEMON, WASATCH PENSTEMON, RYDBERGS
 PENSTEMON, SMALL FLOQUERED PENSTEMON, ROCKY MOUNTAIN

ACCESS NOTES

ACCESS SHOWN TO EACH LOT AND TRACT
GRADING TO BE SHOWN IN INDIVIDUAL SUBMITTAL

REVISIONS:

JOB NO: 59621
 DATE: 05/19/2020
 DRAWN BY: T.SHAFFER
 CHECKED BY: M. HOGAN

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PROGRESS SET:
05/19/2020

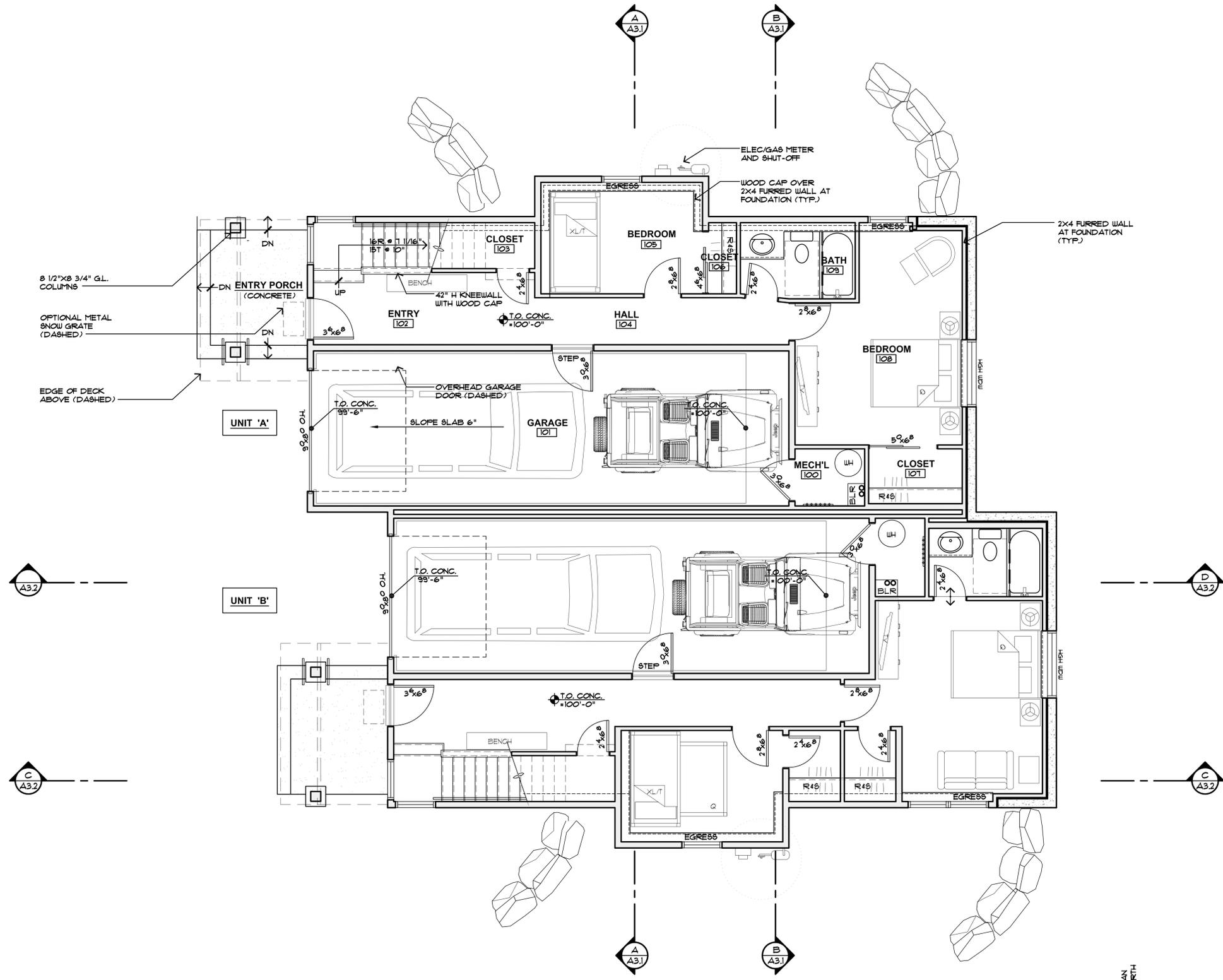
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TRAILS AT BERLIN PLACER
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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SHEET NUMBER:

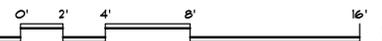
SP1.4
 LANDSCAPE NOTES, DETAILS WITH DUMPSTER PLANS/ELEVATIONS



8 1/2" x 8 3/4" GL. COLUMNS
 OPTIONAL METAL SNOW GRATE (DASHED)
 EDGE OF DECK ABOVE (DASHED)

LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 596211
 DATE: 05/19/2020
 DRAWN BY: T. SHAFER
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PROGRESS SET:
 05/19/2020

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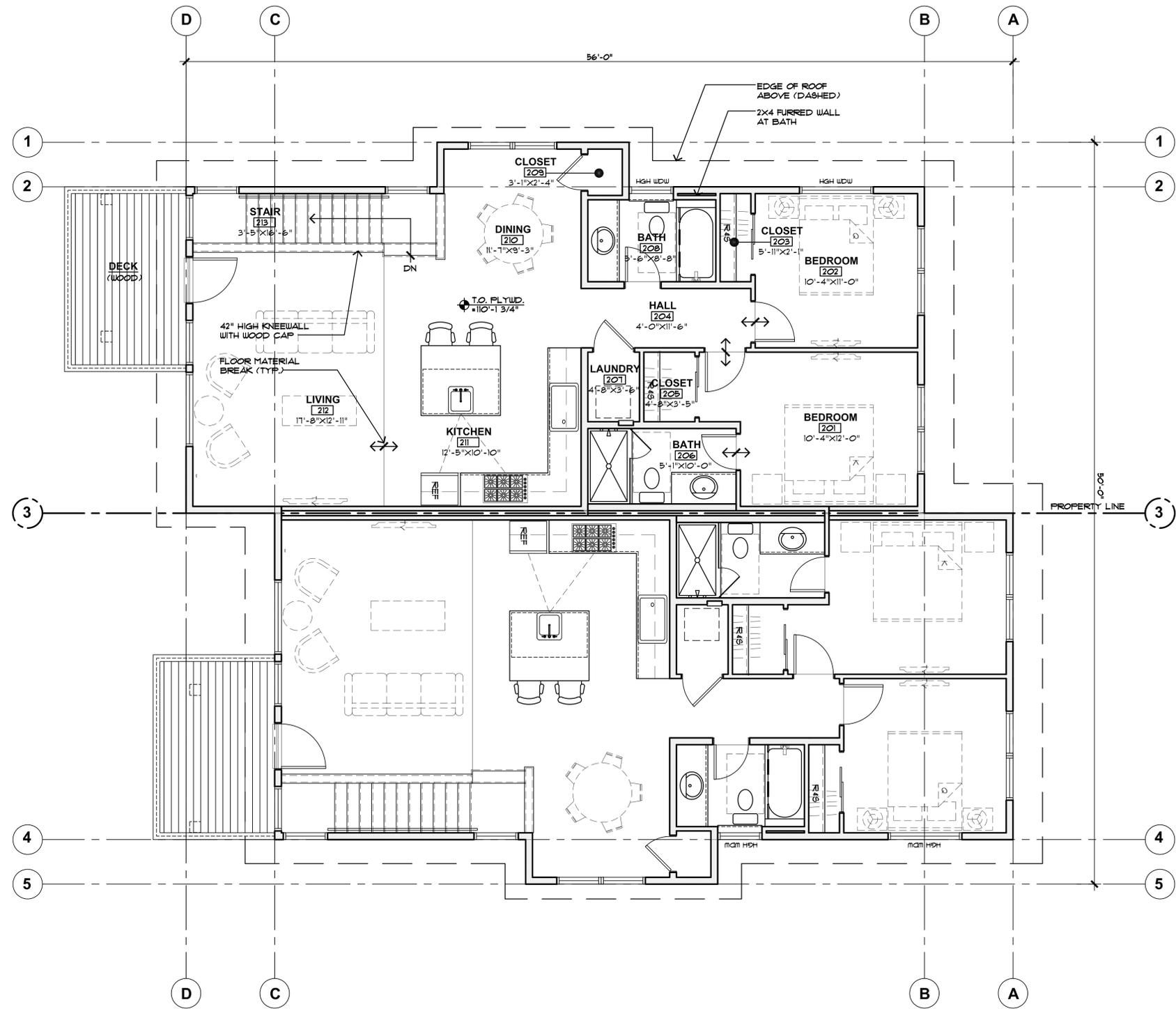
TRAILS AT BERLIN PLACER

0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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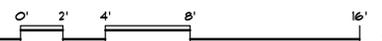
A-1.1
 LOWER LEVEL PLAN
 UPSLOPE UNIT



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,073 SF - FINISHED
00 SF - UNFINISHED



**PRELIMINARY
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CONSTRUCTION**

REVISIONS:

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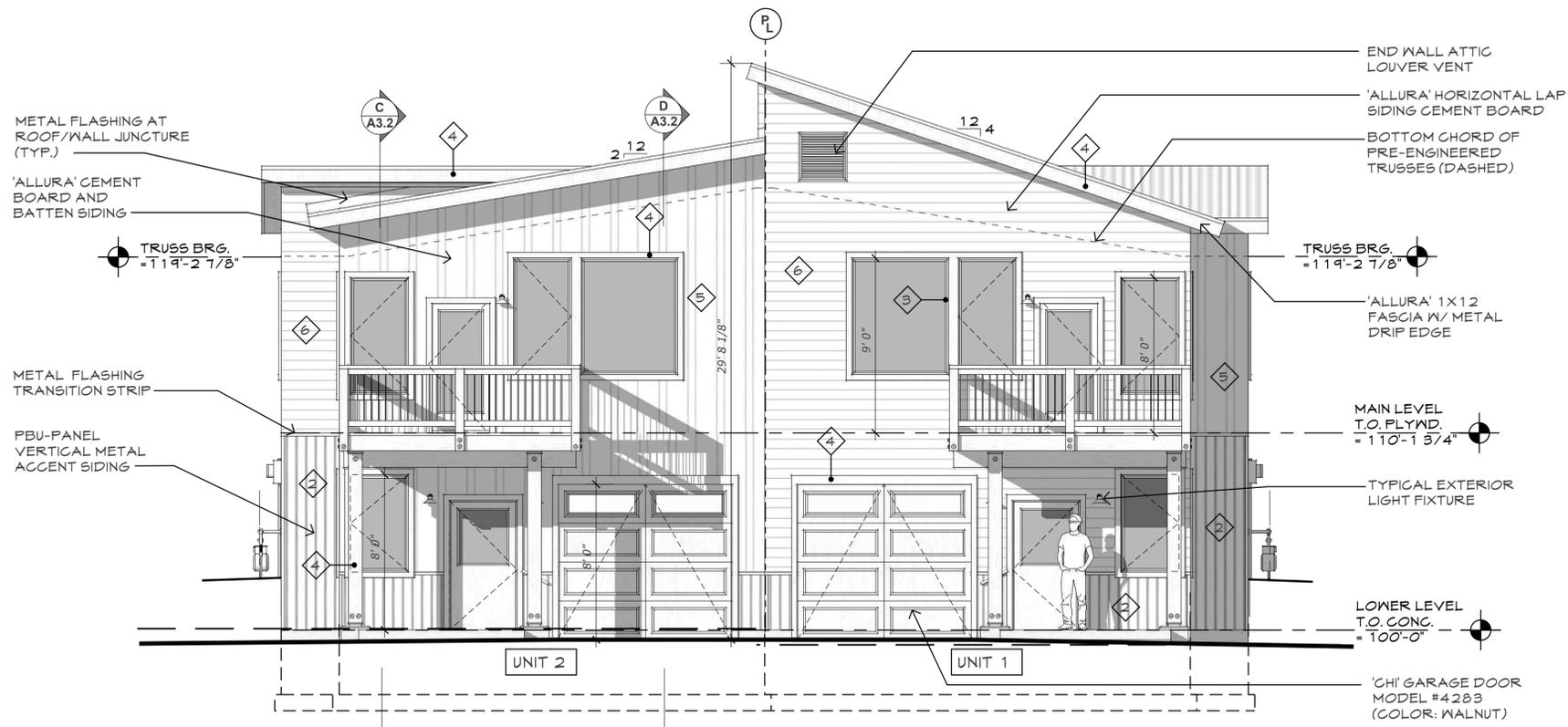
SITE PLAN REVIEW
01/09/2020

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TRAILS AT BERLIN PLACER
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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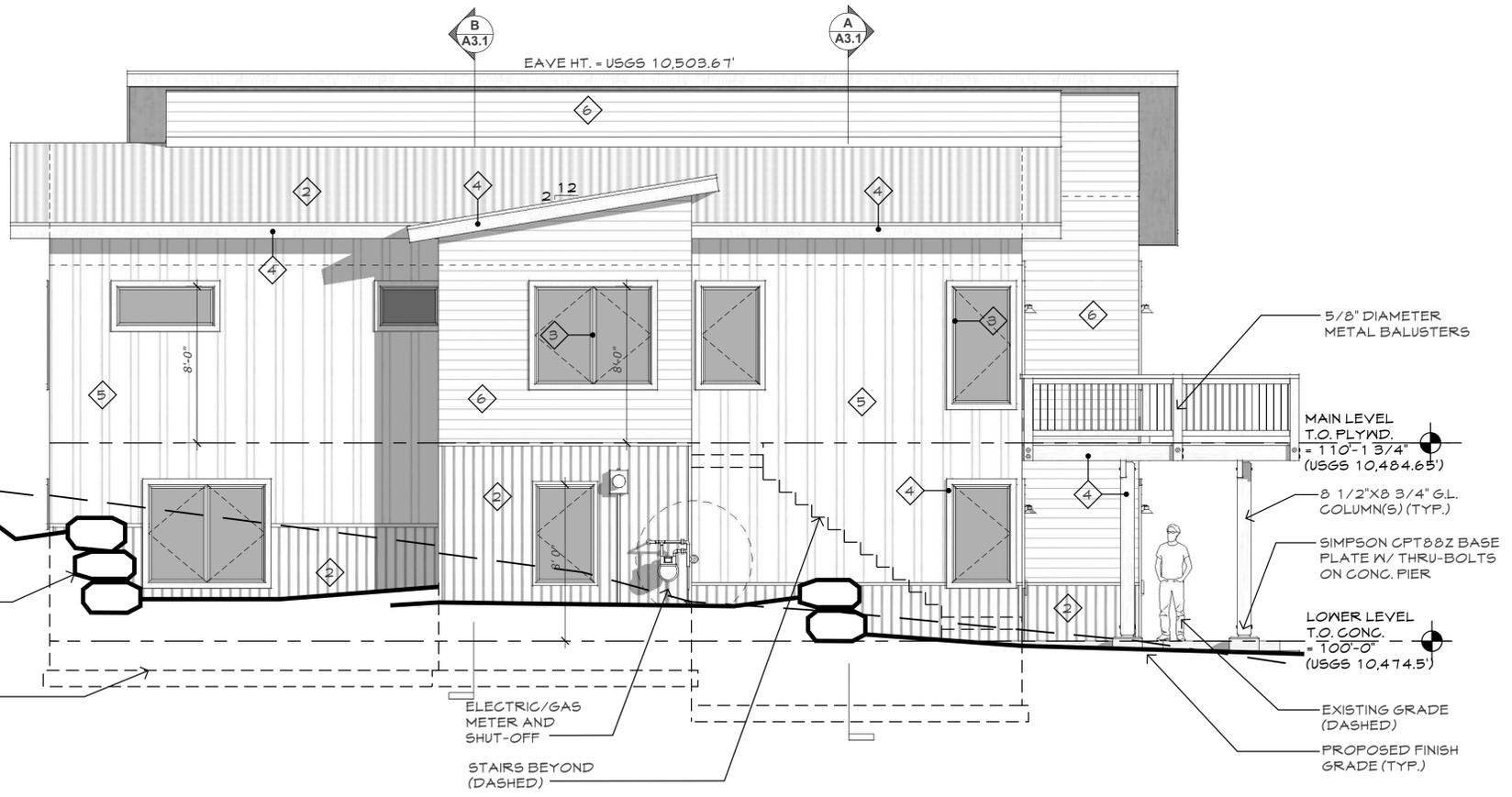
A-1.2
MAIN LEVEL PLAN



WEST ELEVATION

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING - CERTAINTED TL (MOUNTAIN TIMBER)
2	PBU-PANEL METAL ROOF AND SIDING - METAL SALES (GRAY)
3	WINDOW CLAD - MILGARD (CLAY)
4	BEAMS, COLUMNS AND FASCIA - BENJAMIN MOORE (STONE BROWN)
5	VERTICAL 1X4 OVER 1X10 - BENJAMIN MOORE (SHABBY CHIC)
6	HORIZONTAL SIDING - BENJAMIN MOORE (STONE BROWN)



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 59621-1A
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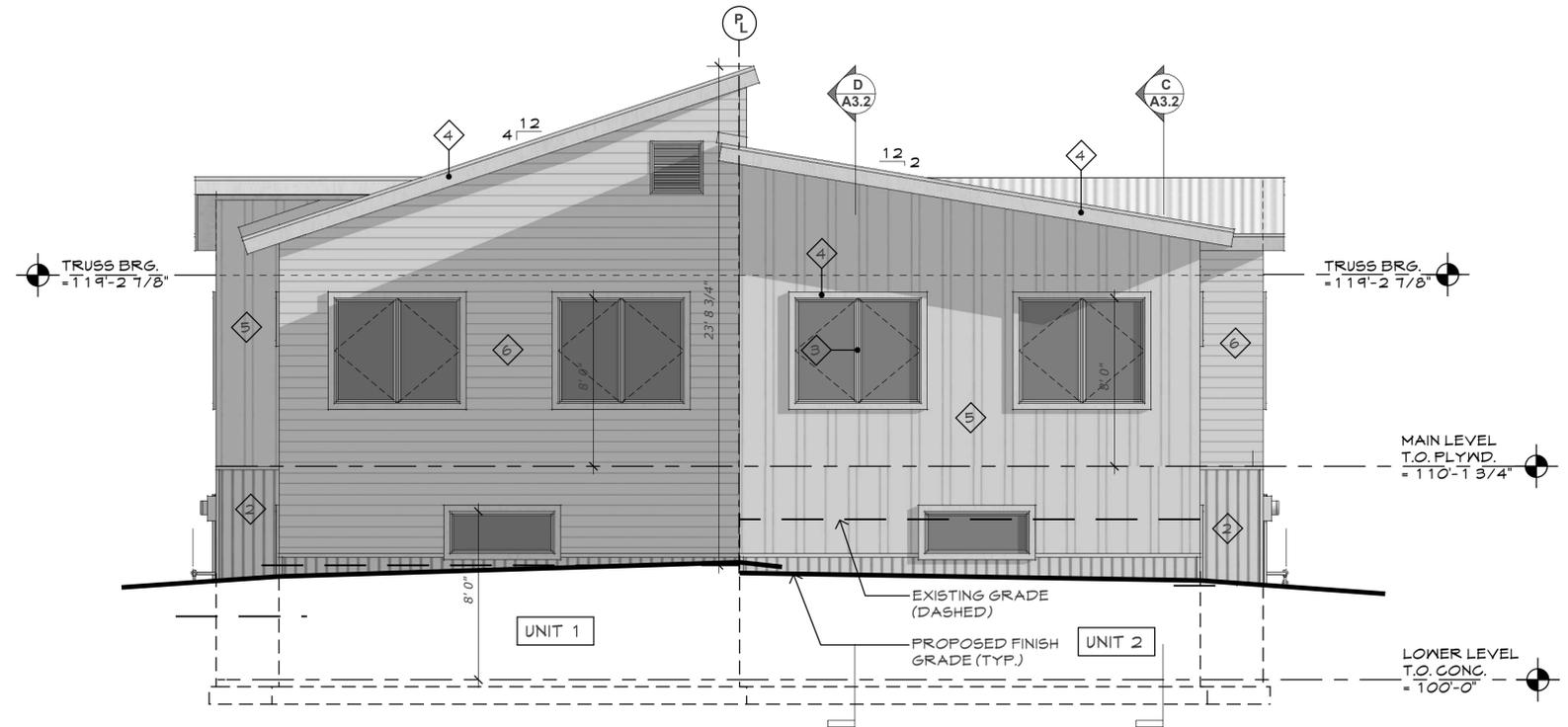
WPH

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TRAILS AT BERLIN PLACER - BUILDING 'A'
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO TRACTS A AND B, TRAILS AT BERLIN PLACER

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A2.1
 BUILDING ELEVATIONS

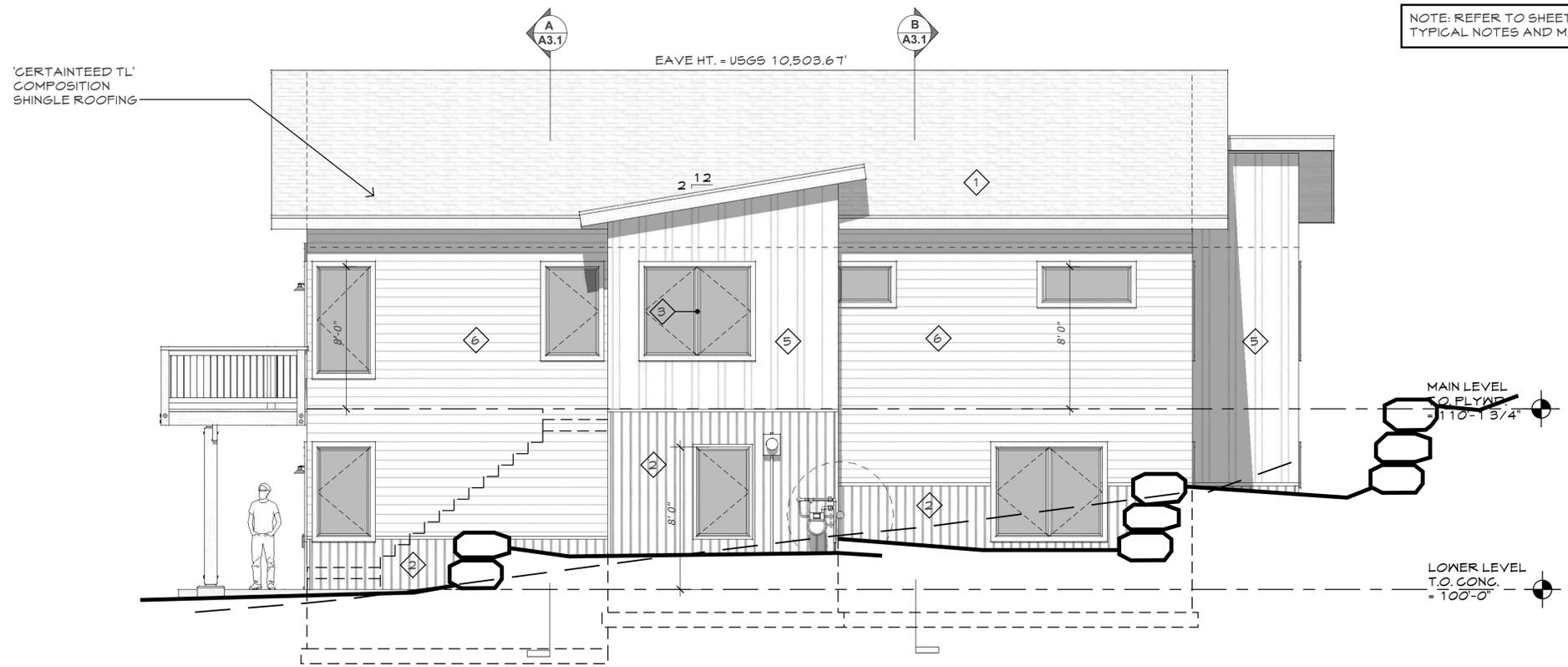


EAST ELEVATION

SCALE: 1/4" = 1'-0"



TRUSS BRG. = 119'-2 7/8"
 TRUSS BRG. = 119'-2 7/8"
 MAIN LEVEL T.O. PLYWD. = 110'-1 3/4"
 LOWER LEVEL T.O. CONC. = 100'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAVE HT. = USGS 10,503.61'
 CERTAINTED TL' COMPOSITION SHINGLE ROOFING
 MAIN LEVEL T.O. PLYWD. = 110'-1 3/4"
 LOWER LEVEL T.O. CONC. = 100'-0"

NOTE: REFER TO SHEET A2.1 FOR TYPICAL NOTES AND MATERIALS

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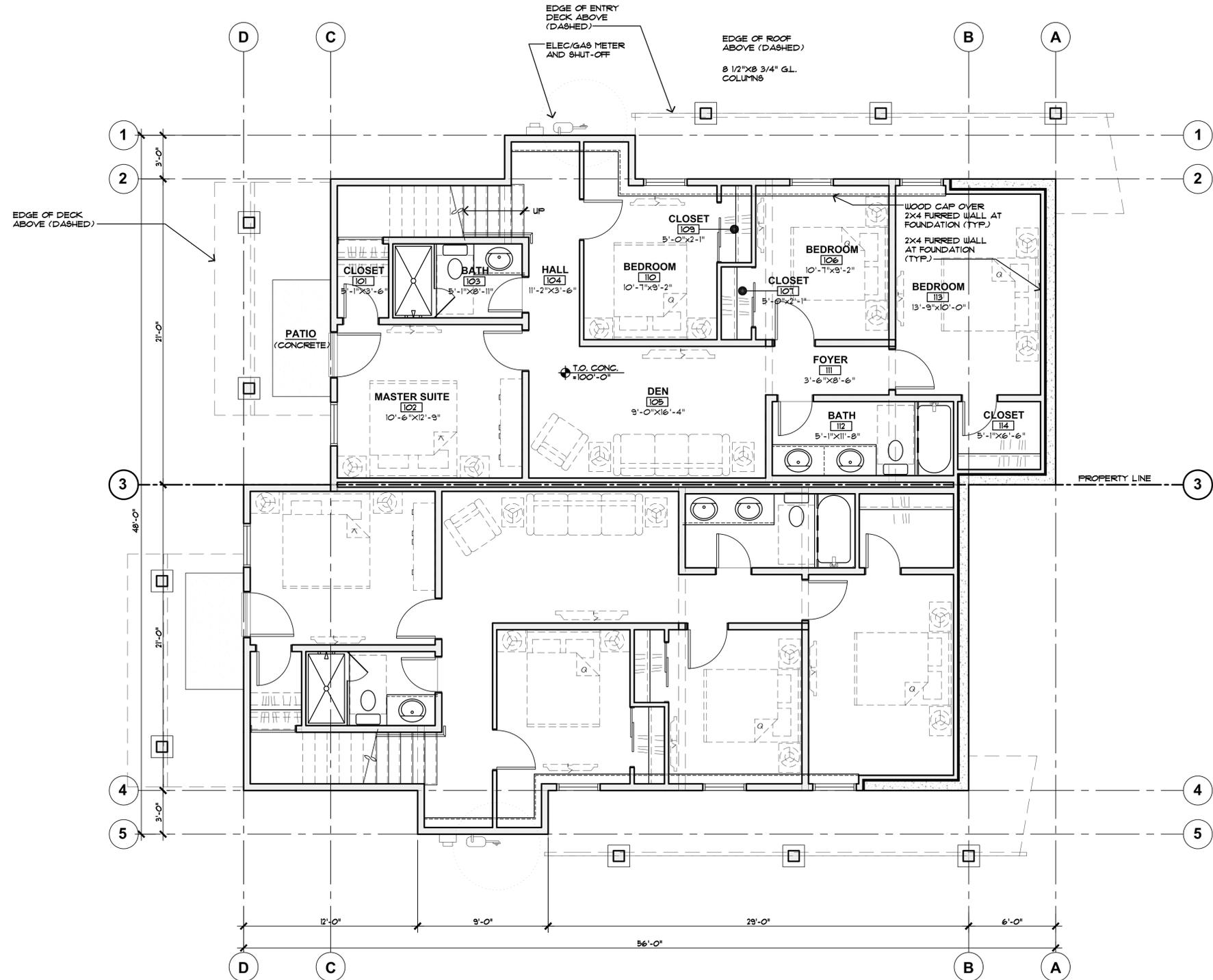
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TRAILS AT BERLIN PLACER - BUILDING 'A'
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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A2.2
 BUILDING ELEVATIONS

AREA CALCULATIONS			
DOWNSLOPE	FINISHED	UNFINISHED	TOTAL
LOWER	1,063 SF.	00 SF.	1,063 SF.
MAIN	618 SF.	410 SF.	1,028 SF.
TOTAL	1,681 SF.	410 SF.	2,091 SF.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,063 SF - FINISHED
00 SF - UNFINISHED



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CONSTRUCTION**

REVISIONS:

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SITE PLAN REVIEW
01/09/2020

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TRAILS AT BERLIN PLACER
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

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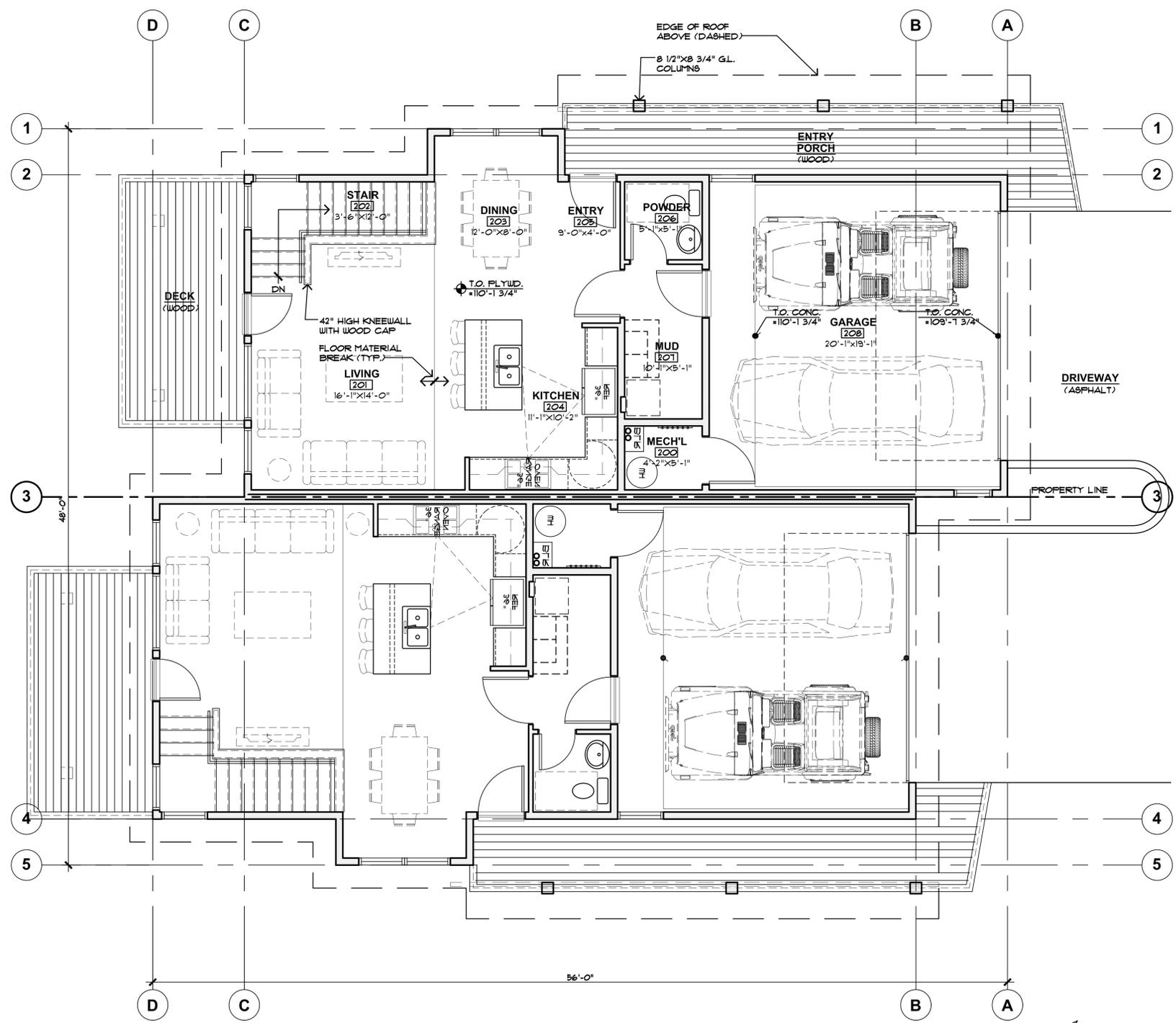
A-1.3
LOWER LEVEL PLAN

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SITE PLAN REVIEW
01/09/2020

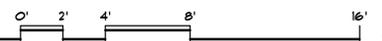
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TRAILS AT BERLIN PLACER
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

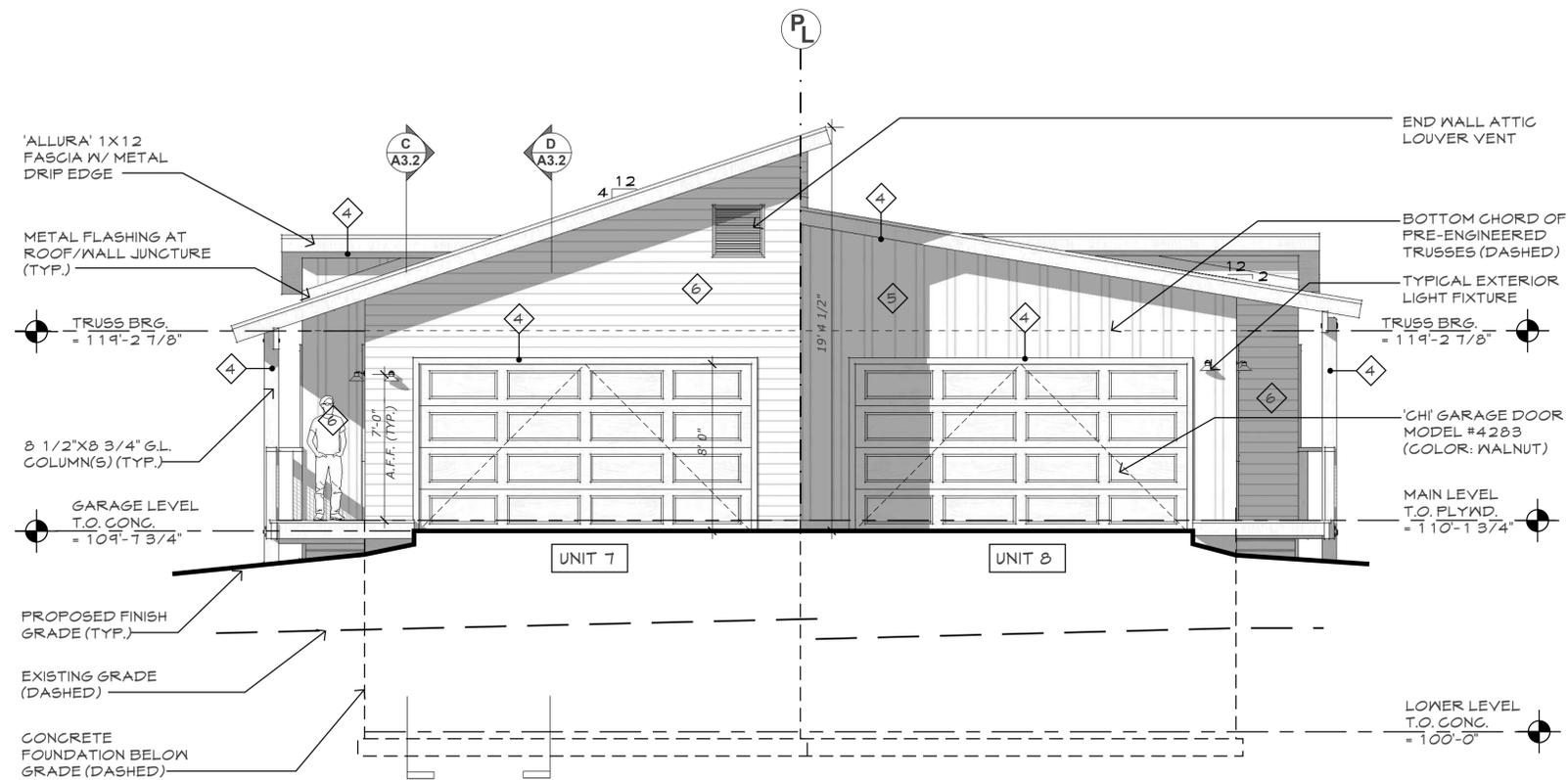
618 SF - FINISHED
410 SF - UNFINISHED



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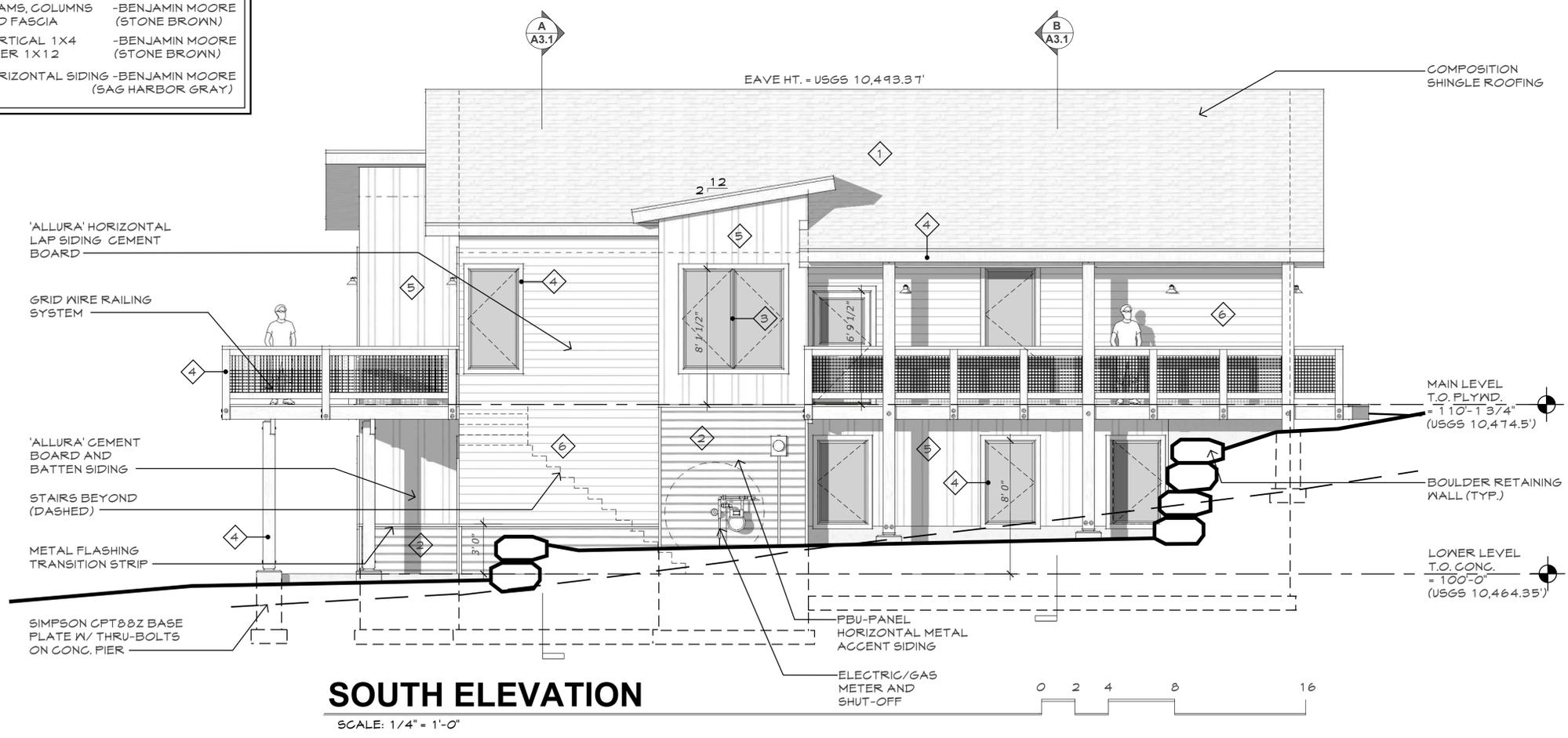
SHEET NUMBER:

A-1.4
MAIN LEVEL PLAN



EAST ELEVATION
SCALE: 1/4" = 1'-0"

COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING -CERTAINTED TL (MOUNTAIN TIMBER)
2	PBU-PANEL METAL ROOF AND SIDING -METAL SALES (TAUPE)
3	VINYL WINDOW -MILGARD TUSCANY (CLAY)
4	BEAMS, COLUMNS AND FASCIA -BENJAMIN MOORE (STONE BROWN)
5	VERTICAL 1X4 OVER 1X12 -BENJAMIN MOORE (STONE BROWN)
6	HORIZONTAL SIDING -BENJAMIN MOORE (SAG HARBOR GRAY)



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 59621.1D
DATE: 06/12/2020
DRAWN BY: T. SHAFFER
CHECKED BY: M.HOGAN

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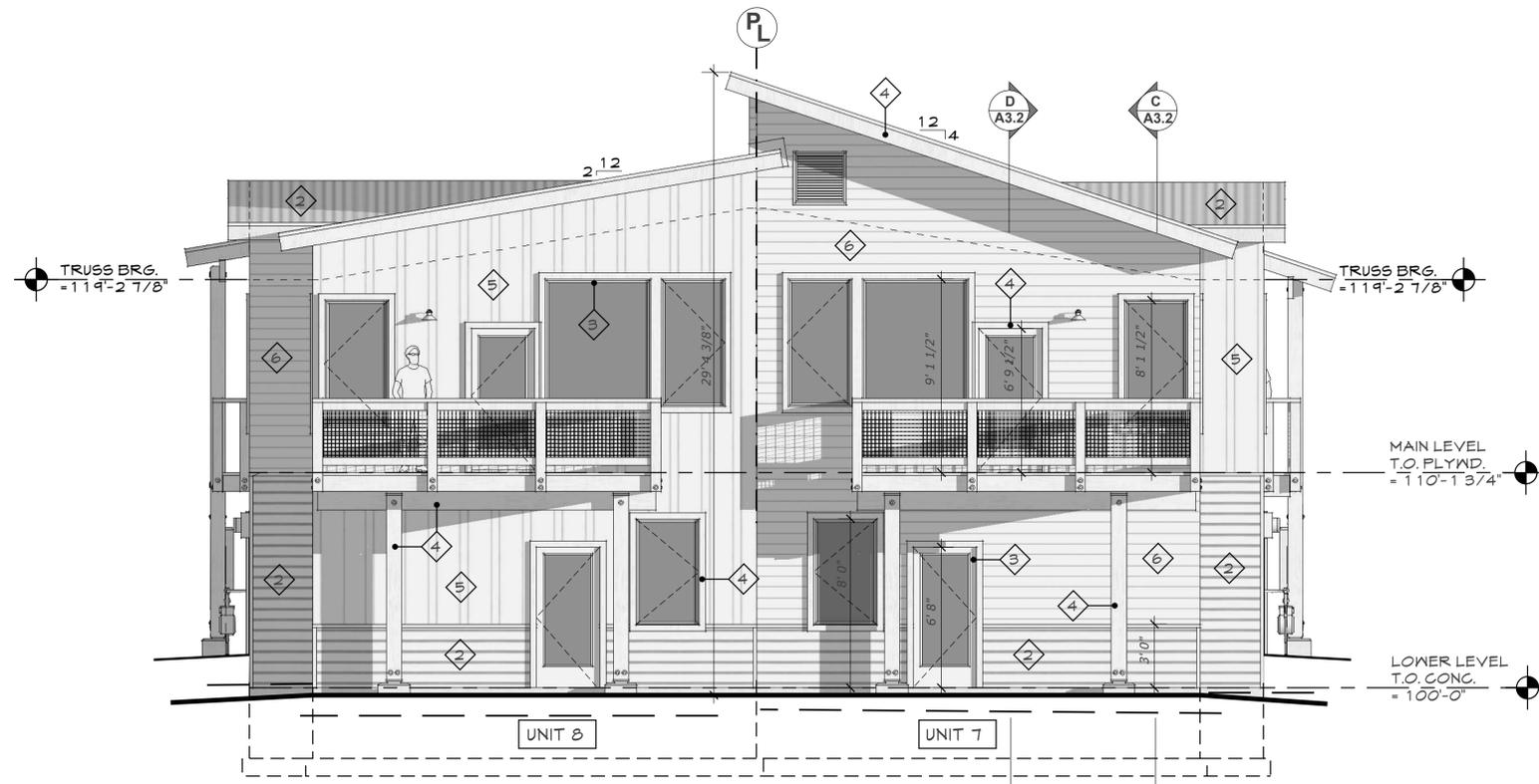
ISSUED FOR CONSTRUCTION: 06/12/2020

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TRAILS AT BERLIN PLACER-BUILDING 'D'
0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

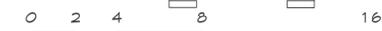
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A2.1
BUILDING ELEVATIONS



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NOTE: REFER TO SHEET A2.3 FOR TYPICAL NOTES AND MATERIALS

REVISIONS:

JOB NO: 59621.1D
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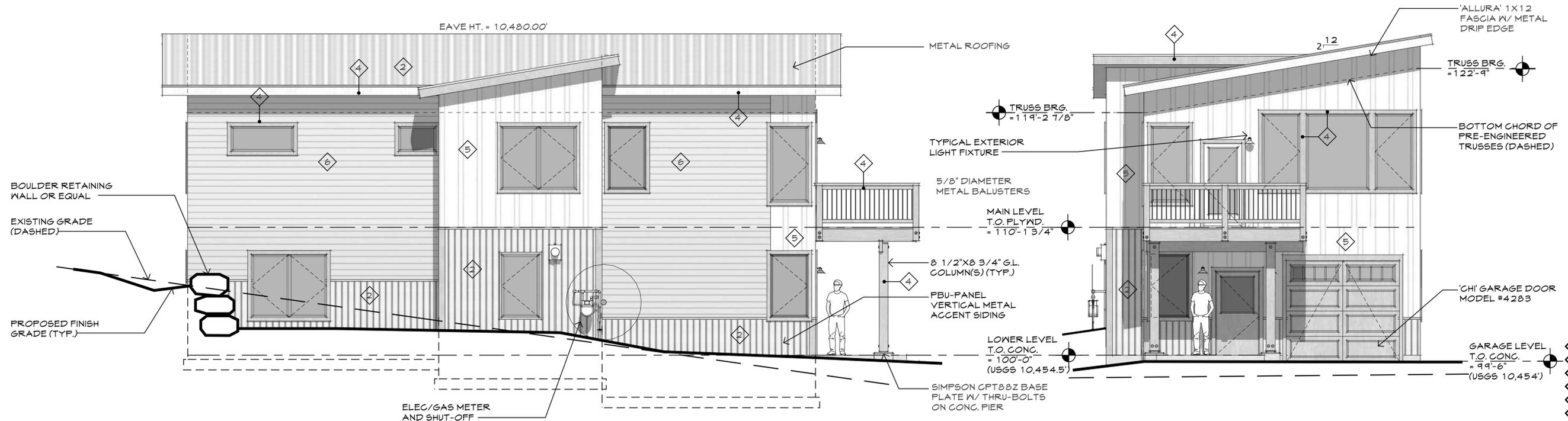
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TRAILS AT BERLIN PLACER-BUILDING 'D'
 0106 SALLIE BARBER ROAD, SUMMIT COUNTY, COLORADO (TRACTS A AND B, TRAILS AT BERLIN PLACER)

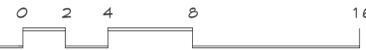
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A2.2
 BUILDING ELEVATIONS



N.EAST ELEVATION

SCALE: 1/4" = 1'-0"



N.WEST ELEVATION

SCALE: 1/4" = 1'-0"



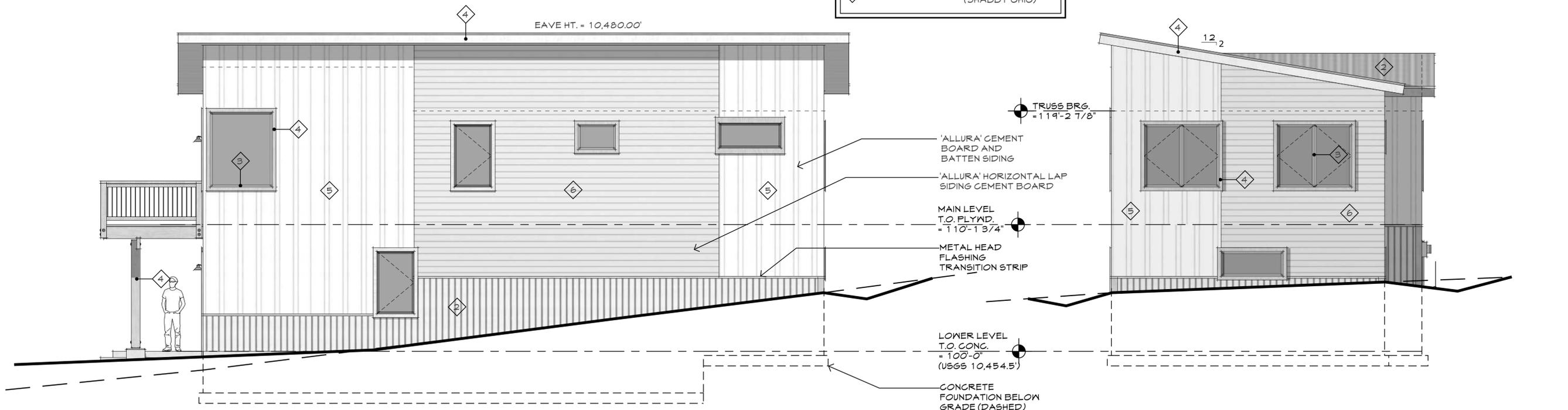
COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING -NOT USED
2	PBU-PANEL METAL ROOF AND SIDING -METAL SALES (GRAY)
3	WINDOW GLAD -MILGARD (BRONZE)
4	BEAMS, COLUMNS AND FASCIA -BENJAMIN MOORE (STONE BROWN)
5	VERTICAL 1X4 OVER 1X10 -BENJAMIN MOORE (STONE BROWN)
6	HORIZONTAL SIDING -BENJAMIN MOORE (SHABBY CHIC)

REVISIONS:

JOB NO: 59621.1H
 DATE: 07/08/20
 DRAWN BY: T. SHAFFER
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PROGRESS SET: 07/08/20



S.WEST ELEVATION

SCALE: 1/4" = 1'-0"



S.EAST ELEVATION

SCALE: 1/4" = 1'-0"



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TRAILS AT BERLIN PLACER - HABITAT
 BALDY ROAD AND SALLIE BARBER TRAIL (UNIT H, HABITAT FOR HUMANITY)

© 2020

A2.1
 BUILDING ELEVATIONS



TRAILS

at Berlin Placer

STANDARD FEATURES AND
UPGRADE OPTIONS

Twenty 100% AMI Units - four bedrooms • three bathroom • two car garage

Kitchen

- Chrome faucet
- Major Brand Kitchen appliance package (range/oven, microwave, refrigerator/freezer and dishwasher)
- Wood cabinetry with chrome cabinet pulls
- Level 1 granite and 4" backsplash
- Vinyl plank flooring
- Stainless steel kitchen sink with 1/2 hp. garbage disposal

Great Room

- Carpet
- Pre-wire ceiling for fan
- Thermostat
- Floor outlet
- Door to deck
- Cat V wiring & cable

Master Suite

- Carpet including closet
- Pre-wire ceiling for fan
- Thermostat
- Cat V wiring & cable
- Closet with closet rod and shelf
- Adult height vanity cabinet same as kitchen cabinets
- Level 1 granite and 4" backsplash
- White vanity sink
- White elongated bowl toilet
- Chrome plumbing fixtures
- Chrome 24" towel bar, towel ring and toilet paper holder
- Chrome vanity light fixture
- Tile floor in bathroom
- Stand up shower with framed enclosure, tiled walls, pre-fabricated pan
- Vanity mirror

Bedrooms

- Carpet including closet
- Thermostat
- Pre-wire ceiling for fan
- Closet with closet rod and shelf
- Cat V wiring & cable

Baths

- Adult height vanity cabinets same as kitchen cabinets
- #• Level 1 granite and 4" backsplash
- White vanity sink
- White elongated bowl toilet
- Shower or Tub/Shower (min 1)
- Chrome plumbing fixtures
- Chrome 24" towel bar, towel ring and toilet paper holder
- Chrome vanity light fixture
- Tile floor
- Vanity mirror

Laundry Room

- Washer and dryer
- Vinyl plank floor

Garage

- Standard size two car garage
- Sloping garage floor for drainage
- In-floor heat and thermostat
- Garage walls fire taped
- Cold water spigot

Mechanical systems

- In-floor radiant heat throughout with multiple thermostat controlled zones
- High efficiency, wall hung natural gas boiler
- Sidearm hot water storage tank

Interior Features

- In-floor radiant heat
- Vinyl plank flooring at front entry
- Chrome door and bath hardware, plumbing fixtures and bathroom light fixtures
- Painted trim and doors throughout

- Interior paint one color for all walls and ceilings in finished living areas
- Pre-wire for dining room chandelier
- Pre-wire for ceiling fans in living room and all bedrooms
- Hand textured drywall
- Carpeted stairs
- Solid insulated 1/2 light front door
- LED lights

Exterior Features

- Cementitious, low-maintenance siding
- Rough sawn timber accents
- Architectural asphalt shingle roof
- Metal accents
- Exterior decks
- Low E windows
- 2 car garage with remote opener
- Approved landscape plan to include trees & shrubs

NOTE: Chandeliers, ceiling fans, pendant lights are owner provided items that can be installed following closing. The Builder can recommend installers for these items but will not install these items during initial construction.

Upgrade Options:

Stainless Steel Kitchen Appliances - Undercabinet (kitchen) Lighting -
Engineered Wood Flooring in Kitchen, Dining and Living - Natural Gas
Stub on Deck - Upgraded Carpet --Prices TBD

Upgrades cannot be included in purchase price. They must be paid for by check made payable to Berlin Placer Development LLC.

RESOLUTION NO. 2020 -

**UPPER BLUE PLANNING COMMISSION
OF THE
COUNTY OF SUMMIT
STATE OF COLORADO**

A RESOLUTION APPROVING PLN20-022, a Site Plan Review for Trails at Berlin Placer Site Plan for 21 Workforce Housing units including one Habitat for Humanity dwelling unit, Tracts A, B, and E, Trails at Berlin Placer, site area of approximately 3.87 acres, zoned Trails at Berlin Placer PUD; (Applicant – Jeff Francis Berlin Placer Development, LLC, Owner – Andy Hayhurst Lange Berger LLC);

WHEREAS, Jeff Francis and Andy Hayhurst have submitted an application for a Site Plan Review for 21 Workforce Housing units including 1 Habitat for Humanity unit; and,

WHEREAS, the Upper Blue Planning Commission has reviewed the application at a public hearing on July 23, 2020 with public notice as required by law and considered the evidence and testimony presented at that hearing; and,

WHEREAS, in light of such considerations, the Upper Blue Planning Commission of Summit County, Colorado finds that:

1. The proposal is in conformance with the zoning including the applicable sections of the Trails at Berlin Placer PUD and Summit County Land Use and Development Code, including but not limited to use, density, development triggers, and height.
2. The proposal is in conformance with Road and Bridge Standards including but not limited to driveway spacing and grade.
3. The proposal is in conformance with Subdivision standards including but not limited to drainage, fire protection, and the provision of utilities.
4. The proposal is in compliance with previous conditions and plan in effect as the site plan is consistent with the PUD and Development Agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE TEN MILE PLANNING COMMISSION OF THE COUNTY OF SUMMIT, STATE OF COLORADO THAT a Site Plan Review for 21 Workforce Housing units including one Habitat for Humanity dwelling unit, Tracts A, B, and E, Trails at Berlin Placer, site area of approximately 3.87 acres, zoned Trails at Berlin Placer PUD, is hereby approved with the following condition:

1. The deed restriction shall be in final draft form prior to issuance of Building Permit for any of the Workforce Housing Units.
2. Prior to Certificate of Occupancy for the Workforce Housing Units, the County shall have initiated the process to extinguish density at 1:2 ratio to offset the impacts from this development, meaning that 11.5 units of density will be extinguished to address the impacts from the 21 units of Workforce Housing.

ADOPTED THIS 23RD DAY OF JULY, 2020.

**COUNTY OF SUMMIT
STATE OF COLORADO
BY AND THROUGH ITS
UPPER BLUE PLANNING COMMISSION**

_____, Chair

ATTEST:

Lindsay Hirsh, Senior Planner

From: [Dorothy Martinez](#)
To: [Dorothy Martinez](#)
Subject: FW: Response to Trails at Berlin Placer proposal
Date: Friday, July 17, 2020 11:24:28 AM

From: Mike Anderson <MikeAnderson359@outlook.com>
Sent: Friday, July 10, 2020 6:24 PM
To: Lindsay Hirsh <Lindsay.Hirsh@summitcountyco.gov>
Subject: Response to Trails at Berlin Placer proposal

My name is Mike Anderson and I own the home at 683 Baldy Road.

My wife Linda and I purchased that home in 2011 and we specifically targeted an area zoned for single family homes. We were looking for quiet and solitude and investigated many neighborhoods. We addressed all of our issues when the first proposal from Jeff Francis was submitted 2-3 years ago.

I thought that we reached a fair compromise to allow duplexes and fourplexes on this site. This proposal is more aggressive than the original that we all fought to reject.

While I am sensitive to the need for affordable worker housing, this is NOT the neighborhood for that type of development. We purchased that house trusting the original zoning restrictions.

Please reject this proposal. It is simply not fair to surrounding homeowners. That type of structure will undoubtedly reduce our property values and create significant traffic and noise issues. I will attend the public hearing and voice my concerns.

Thank you for your consideration.

John M. (Mike) Anderson
Linda K. Anderson

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