



PLANNING DEPARTMENT

970.668.4200
www.SummitCountyCO.gov

0037 Peak One Dr. PO Box 5660
Frisco, CO 80443

**BOARD OF ADJUSTMENT PLANNING COMMISSION
AGENDA**

September 16, 2020 – 5:30 p.m.

Due to Public Health concerns and social distancing efforts, this meeting will be conducted virtually and the public is encouraged to join by following the instructions below:

To Join the Meeting, dial
(346) 248-7799 or (669)-900-9128
Meeting ID: 871 3897 6463
Password: BOA9-16-20
Press # to bypass the Participant ID
To join from your computer, tablet or smartphone:
<https://us02web.zoom.us/j/87138976463>
Password: BOA9-16-20

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF SUMMARY OF MOTIONS:** August 19, 2020
- IV. APPROVAL OF AGENDA:** Additions, Deletions, Change of Order
- V. CONSENT AGENDA:**
None
- VI. WORK SESSION ITEMS:**
None
- VII. PUBLIC HEARINGS:**
PLN20-033 - Variance to the front setback for a new SFR and attached garage; Lot 13R, Quandary Village F#2
- VIII. DISCUSSION ITEMS:**
None
- IX. ADJOURNMENT**

* Allowance for Certain Site Plans to Be Placed on the Consent Agenda: Site plan reviews consisting of three (3) to a maximum of 12 multi-family units for the total development parcel or project may be placed on a Planning Commission's "consent agenda", which allows for expeditious review and approval of these smaller projects. Site plans may only be placed on the consent agenda if the recommendation does not include any conditions. Single-family and duplex development that are required to have a site plan review by a Planning Commission due to a plat note, PUD requirement or other regulatory mechanism may also be placed on a Commission's consent agenda. A Planning Commission member may pull such agenda item off the consent agenda to allow staff or the applicant to address issues or questions related to the site plan review criteria for decision prior to taking action.

**BOARD OF ADJUSTMENT
SUMMARY OF MOTIONS**

August 19, 2020
(Zoom Meeting)

BOARD MEMBERS PRESENT: Ryan Taylor, Anthony Lord, Ira Tane, Brian Birenbach, David Domzal, Ted Pilling

STAFF PRESENT: April Kroner, Sid Rivers, Keely Ambrose

April Kroner, Planning Director, called the meeting of the Board of Adjustment to order at 5:40 p.m.

Approval of Summary of Motions: The Summary of Motions of the January 17, 2018 meeting was approved as submitted.

REGULAR AGENDA

PLN20-027: Variance request for an attached garage to encroach into the 25' front setback; Lot 19, Block 9, Dillon Valley Sub # 1, zoned R-6 with Plan.

DISCUSSION: The BOA discussed that they support the garage setback request based on the specific design provided in this application.

MOTION: Ira Tane made a motion to approve the variance request for an attached garage to encroach into the 25' front setback; Lot 19, Block 9, Dillon Valley Sub # 1, zoned R-6 with Plan, with the findings listed in the staff report.

Brian Birenbach seconded the motion which was approved on a vote of 6-0.

Findings:

1. The strict application of the County's Zoning Regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the property owner in the development of the property because the lot's steep topography precludes the construction of a setback-compliant structure.
2. The variance can be granted without substantial impairment to the public health, safety, and welfare because the location of the proposed structure is outside of the existing utility easements and the variance will not result in issues with any other Code requirements.
3. Granting this variance is consistent with the County Zoning Regulations because the proposed garage will comply with all applicable development standards, excluding the required front setback.
4. Granting the variance does not constitute a grant of special privilege as variances to setback requirements have been granted within Summit County for similar properties with constraints including topography.
5. Reasonable use of the property is not available without granting a variance and the variance being granted is the minimum necessary for reasonable use since the proposal is sited in the most reasonable location and designed to fit with the site development constraints.
6. The parcel for which the variance is being granted was not created in violation of County Zoning or Subdivision regulations or in violation of Colorado State Statutes because the subject property was legally created. The Dillon Valley Subdivision was recorded on October 2, 1968 at Reception

number 110914.

DISCUSSION ITEMS

Countywide Planning Issues: None

ADJOURNMENT

The meeting was adjourned at 6:17 p.m.

Respectfully submitted,

Sid Rivers,
Planner II

DRAFT



STAFF REPORT

TO: Board of Adjustment

FROM: Sid Rivers, Planner II

FOR: Meeting of September 16, 2020

SUBJECT: Planning Case PLN20-033; Encroachment into 25' front setback for a new single family residence and garage

APPLICANT: Robert Mahoney

OWNER: Robert and Christina Mahoney

REQUEST: Variance request for a single family residence and attached garage to encroach into the 25' front setback; Lot 13R, Block 1, Quandary Village #2, zoned R-2

PROJECT DESCRIPTION

Location: 434 Carroll Lane, Blue River

Legal Description: Lot 13R, Block 1, Quandary Village #2

Existing Zoning: R-2

Proposed Use: Single family residence

Total site area: 1.52 acres/ 66,306 square feet

Adjacent land uses:

- East:** Lot 7, Block 11, Alpine Breck Sub #2, zoned R-1
- West:** Carroll Lane (CR 860)
- North:** Lot 14, Block 2, Quandary Village #2, zoned R-2
- South:** Lot 12, Block 2, Quandary Village #2, zoned R-2

DEVELOPMENT REQUIREMENTS

	<u>Required</u>	<u>Proposed</u>
Setbacks:		
Front:	25'	3.5'
Rear:	25'	25'+
Sides:	15'	15'

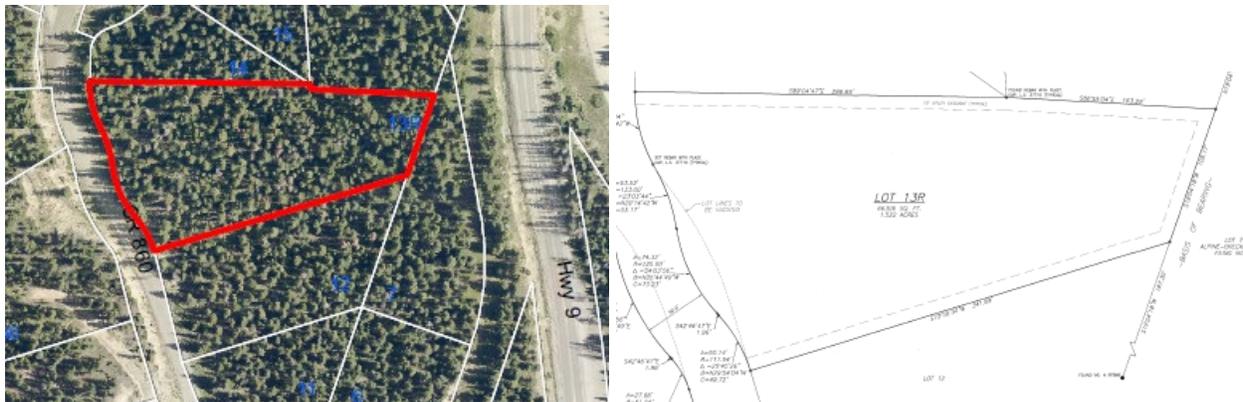
BACKGROUND

The subject site is Lot 13R, Block 1, Quandary Village #2, located at 434 Carroll Lane. This property is located at an elevation of 11,160 feet above sea level in the Blue River area of the County. The lot is 1.52 acres in size (66,306 square feet) and slopes steeply and continuously downhill from the front property line. The property is vacant and the owner wishes to construct a single family residence and garage.

The Quandary Village Subdivision, Filing #2 was recorded on August 6, 1965 at Reception number 102620. The property owner recently vacated a portion of the Carroll Lane right-of-way and modified the front property line. This adjustment was based on the physical location of the Carroll Lane roadway, which did not match the platted location from the 1965 subdivision plat. This lot line adjustment would also promote the placement of a driveway that would better meet the driveway standards as listed in the Land Use and Development Code. The right-of-way vacation was approved as Engineering case ESP18-001, and the lot line adjustment was approved with Planning case PLN17-136. The re-plat for Lot 13R is recorded at reception number 1175986.

This application is for a variance to the front setback requirements in order to construct a single family residence with an attached garage. The proposed residence will encroach into the 25' front setback. The applicant is proposing that the home be setback 3.5' from the front property line due to the steepness of the lot. The garage entry will be setback 19' from the front property line. This proposal complies with the rear and side setbacks required for the site.

Location: 434 Carroll Lane; Lot 13R, Blk 1, Quandary Village #2



CRITERIA FOR DECISION

Per Section 12503.01, the following criteria and standards shall be met and findings made by the Board of Adjustment to approve variances to development regulations and standards except variances to minimum lot size requirements:

1. The strict application of the County's Zoning Regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the property owner in the development of the property because of special circumstances applicable to the property such as size, shape, topography or other extraordinary or exceptional physical conditions.

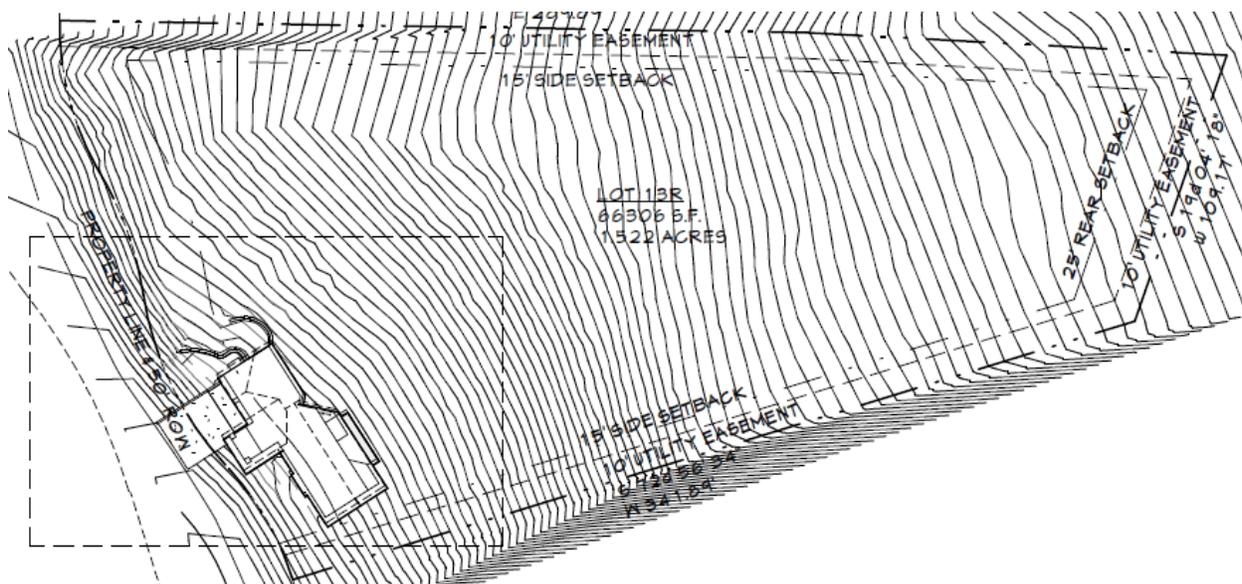
2. The variance can be granted without substantial detriment to the public health, safety and welfare.
3. The variance can be granted without substantial impairment of the intent of the County's Zoning Regulations.
4. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district.
5. Reasonable use of the property is not otherwise available without granting of a variance and the variance being granted is the minimum necessary to allow for reasonable use.
6. The parcel for which the variance is being granted was not created in violation of County zoning or subdivision regulations, or in violation of Colorado State Statutes.

The strict application of the County's Zoning Regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the property owner in the development of the property because of special circumstances applicable to the property such as size, shape, topography or other extraordinary or exceptional physical conditions

This variance request is for a 3.5' front setback in the R-2 zone district, which requires a 25' front setback. The slope of the entire site is in excess of 30%. Based on the topography of the site, the applicant is requesting a variance to the front setback requirements in order to construct a single family residence with a footprint size of 1200 square feet and an attached garage that is 400 square feet in size. The proposed garage will be located 19' from the front property line. The majority of the single family residence will also be setback 19' from the front property line. The 3.5' front setback request will allow for a covered entry to the residence.

The applicant has designed a residence and garage that accommodates the topography of this site. An undue hardship would exist without the granting of a front setback variance. Due to the steep topography, increased site grading and disturbance would occur if the proposed residence were required to meet the 25' front setback requirement.

Site Topography and Proposed Location of Residence:



The variance can be granted without substantial detriment to the public health, safety and welfare

Granting this variance will not have any negative impact to the public health, safety, or welfare. This proposal was referred to all of the applicable review agencies and no comments were provided. The Engineering and Road and Bridge Departments did not have any concerns with this proposal. The garage and driveway design as proposed allows for safe vehicle backing movement and parking within the driveway. As such, the Engineering department does not require any indemnification from the property owner. Additionally, while the proposal encroaches into the front setback, there are no proposed encroachments into any utility easements and none of the utility providers expressed concern with the proposal.

The variance can be granted without substantial impairment of the intent of the County's Zoning Regulations

The applicant is proposing a single family residence and attached garage. Staff has no concerns with the proposed layout of the residence. With the exception of the front setback, the single family residence has been specifically designed to fit with the development constraints of the lot and meets the Code requirements for building height, driveway access, and parking.

Granting a variance for this proposal is consistent with the County Zoning Regulations because the proposed development complies with all County development regulations and applicable development standards, excluding the front setback requirement.

Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district

The Board of Adjustment must find that granting a variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district. The BOA has granted front setback variances throughout Summit County on steep lots, including four variances for other properties in the Quandary Village Subdivision with similar circumstances. The previously approved variances were for encroachments into the front setback. The approved front setbacks vary from 6 to 10'.

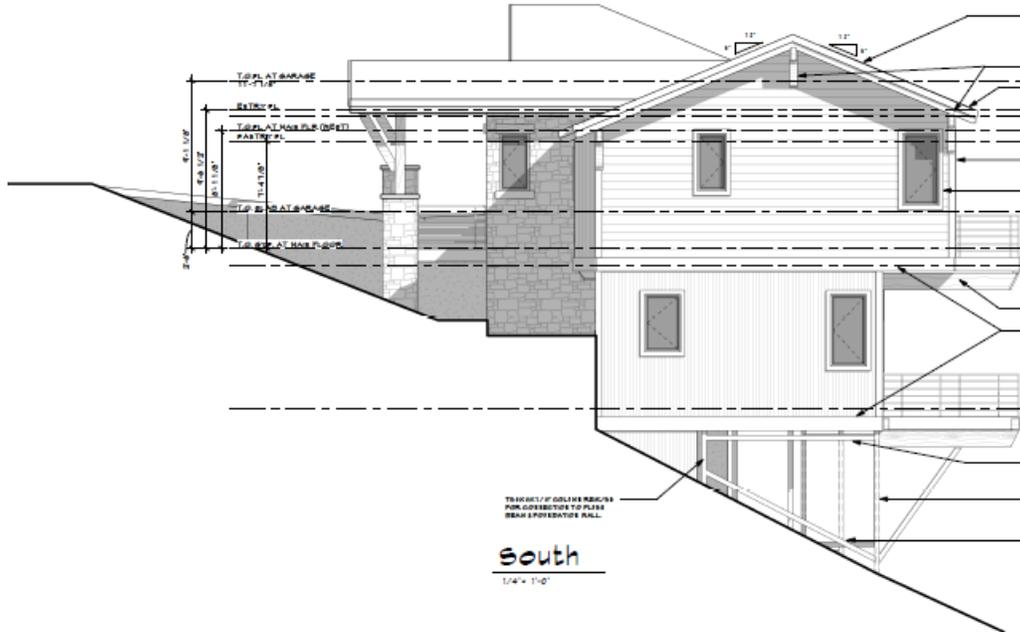
Historically, the BOA has deemed that a single family residence with a footprint of 1200 square feet in size, and a two-car garage of up to 400 square feet in size as the "minimum necessary" for reasonable use. The footprint of the proposed residence is 1200 square feet and garage will be 400 square feet in size. Staff supports this proposal as designed.

Reasonable use of the property is not otherwise available without granting of a variance and the variance being granted is the minimum necessary to allow for reasonable use

The Board of Adjustment must find that reasonable use of the property is not otherwise available without granting a variance and the variance being granted is the minimum necessary to allow for reasonable use. Due to the site's steep topographic constraints, without granting a front setback variance, a single family home could not reasonably be constructed on the subject property.

The BOA has previously determined that a 1200 square-foot home footprint and 400-square-foot garage is a reasonable size, and not having a garage in our mountain environment is a hardship. The applicant's proposal meets those standards. Staff considers the residence and garage as designed to be the minimum necessary for reasonable use of this property, and reasonable use of this property would not be possible without a front setback variance.

Proposed Placement of Residence with Existing Grade on Site:



The parcel for which the variance is being granted was not created in violation of County zoning or subdivision regulations, or in violation of Colorado State Statutes

The Quandary Village Subdivision, Filing #2 was recorded on August 6, 1965 at Reception number 102620. Summit County subdivision regulations began in 1964. The subject parcel was created legally and does not have any zoning, subdivision or state statute violations.

STAFF RECOMMENDATION

Staff recommends that the Board of Adjustment approve PLN20-033; a request for a variance from the 25-foot front setback for a single family residence and attached garage to be located 3.5 feet from the front property line, Lot 13R, Block 1, Quandary Village #2, zoned R-2, with the following findings.

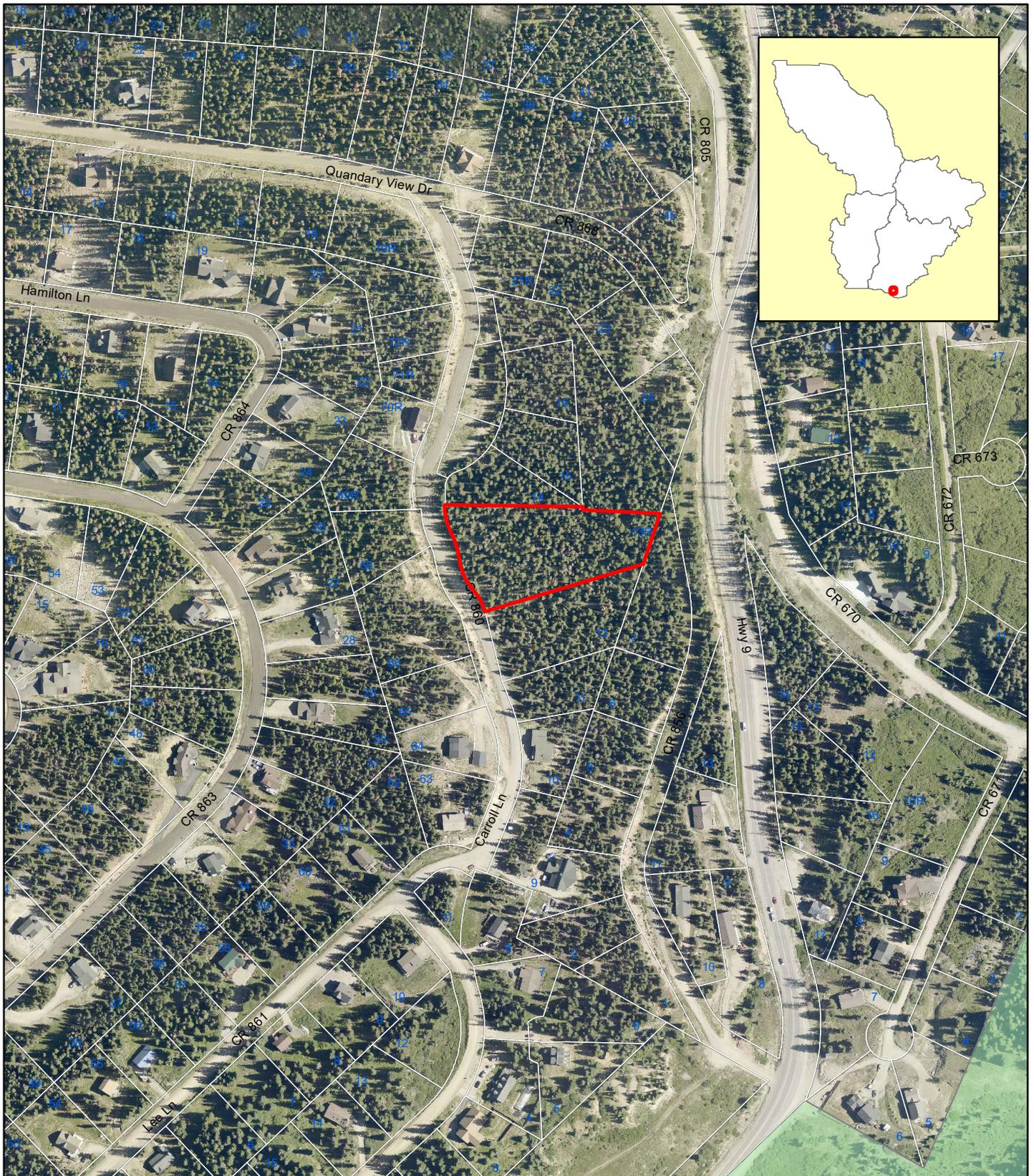
FINDINGS

1. The strict application of the County's Zoning Regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the property owner in the development of the property because the lot's steep topography precludes the construction of a setback-compliant structure.

2. The variance can be granted without substantial impairment to the public health, safety, and welfare because the location of the proposed structure is outside of the existing utility easements and the variance will not result in issues with any other Code requirements including driveway and parking standards.
3. Granting this variance is consistent with the County Zoning Regulations because the proposed residence will comply with all applicable development standards, excluding the required front setback.
4. Granting the variance does not constitute a grant of special privilege as variances to setback requirements have been granted within Summit County for similar properties with constraints including topography.
5. Reasonable use of the property is not available without granting a variance and the variance being granted is the minimum necessary for reasonable use since the proposal is sited in the most reasonable location and designed to fit with the site development constraints.
6. The parcel for which the variance is being granted was not created in violation of County Zoning or Subdivision regulations or in violation of Colorado State Statutes because the subject property was legally created. The Quandary Village Subdivision, Filing #2 was recorded on August 6, 1965 at Reception number 102620.

ATTACHMENTS

1. Vicinity Map
2. Applicant Narrative
3. Site Plan/ Building Plans

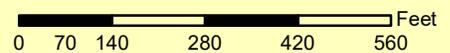


PLN20-033
 Variance, Front Setback
 Lot 13R, Block 1, Quandary Village #2
 434 Carroll Lane



1 inch = 288 feet

This map is for display purposes only.
 Do not use for legal conveyance.
 Not necessarily accurate by surveying
 standards, and does not comply with
 National Mapping Accuracy Standards.
 © 2015 Summit County Government



434 Carroll Lane, Breckenridge, CO
Summit County Variance Request – Supplemental Information
July 2020

Referencing *Criteria for Approval*:

12503.01: Findings for Approval

- A. **Development Regulations and Standards:** The following criteria and standards shall be met and findings made by the BOA to approve variances to development regulations and standards except variances to minimum lot size requirements:
1. **The strict application of the County's Zoning Regulations would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the property owner in the development of the property because of special circumstances applicable to the property such as size, shape, topography or other extraordinary or exceptional physical conditions.**

Response: *The residential structure design meets the Summit County development standards. As discussed with Summit County Planning and Engineering staff, 434 Carroll Lane is a very difficult construction site making it almost unbuildable per the Summit County standards.*

The difficulties and special circumstances with this lot include a sharp drop off from the road of up to 20 feet to the buildable area for any residential foundation, a steep 3:1 slope down the entire parcel, and an incorrectly constructed road versus right-of-way which required replatting of several lots and the County's right-of-way. Note that per Summit County requests, the owner replatted the right-of-way in this area to have the right-of-way better match the actual road location and result in a buildable lot with only a setback variance required.

Prior to the replatting work, the Owner diligently explored every possible preliminary design for multiple driveways including a serpentine road alignment, shifting of the residence to different locations on the site, and a pad to support the residence using gravity walls, to name a few. However, none of these designs could meet County regulations for such things as maximum driveway slope and height restrictions due to site topography. All of these inadequate options were reviewed by owner with County staff in several meetings starting in 2012 and presented in a pre-submittal meeting in December 2019.

Therefore, without the requested variance for the residence to be constructed a few feet into in the normal right-of-way setback required by the standards, the owner would not only realize a hardship but a structure could not be built on the lot. Following the standards and direction by County Planning and Engineering staff to allow a residence to be constructed on this site, the project plans show how a granted variance is the minimum necessary to allow for reasonable use. The following Summit County requirements placed on the project were achieved as shown in the plans:

- *The garage does not exceed 400 sf.*
- *The structure's plate does not exceed 1,200 including the exterior deck.*
- *The garage location provides a minimum 19' setback from the right-of-way to accommodate visitor parking.*
- *The structure's height falls within the 35' maximum height restriction per Summit County standards.*

- 2. The variance can be granted without substantial detriment to the public health, safety and welfare.**

Response: *The requested variance will not impose any detriment to public health, safety or welfare since the structure will be located off with roadway with a steep slope located between the roadway and the residence. The only touch point between the residence and the roadway will be the driveway.*

- 3. The variance can be granted without substantial impairment of the intent of the County's Zoning Regulations.**

Response: *As bulleted in #1 above, the criteria set forth by Summit County to grant this variance have been met.*

- 4. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district.**

Response: *The requested variance will not provide a special privilege to this owner not afforded to other owners. The home's front door is only accessible off the road via the driveway. In fact, increased expenditures will be necessary to meet some Summit County requirements (driveway setback and height limitation) with size limitations imposed which result in a reduced footprint size for the garage and living space.*

- 5. Reasonable use of the property is not otherwise available without granting of a variance and the variance being granted is the minimum necessary to allow for reasonable use.**

Response: *As stated in #1 above, the lot would be unbuildable without this requested variance combined with the previously-completed right-of-way replat.*

- 6. The parcel for which the variance is being granted was not created in violation of County zoning or subdivision regulations, or in violation of Colorado State Statutes.**

Response: *Except for the recently-completed right-of-way replatting work, the parcel is unchanged from the original subdivision plat from the 1960's and is not in violation of County zoning or subdivision regulations.*



PROPOSED SEPTIC TANK AND LEACH FIELD. VERIFY PER DESIGNED SYSTEM AND VICINITY TO WELL.

PROPOSED METER LOCATION

PROPOSED SNOW STORAGE

PROPOSED LINE OF DISTURBANCE

REDI-ROCK OR SIM. RETAINING WALL SYSTEM WITH MONOLITHIC SLAB, WITH POURED CURB AT DRIVEWAY. PROVIDE GUARDRAIL PER COUNTY REGULATIONS AT DRIVEWAY CURB TYP.

DIMENSIONS TO FRONT PROPERTY LINE DENOTING ENCROACHMENT INTO SETBACK IN LARGER FONT TYP.

PROPOSED WELL AND DRILLING PLATFORM LOCATION. VERIFY PER INSTALLER.

OPTIONAL METER LOCATION

1" = 10' SITE PLAN

1" = 10'-0"

fine residential design



1503 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 737.278.8944

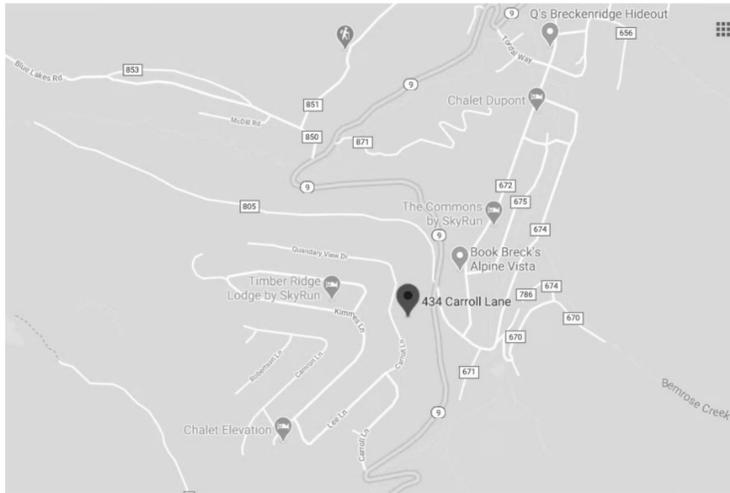
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any errors or omissions that may be discovered by the user of these plans. Any ambiguity or discrepancy discovered by the user of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO
SUMMIT COUNTY

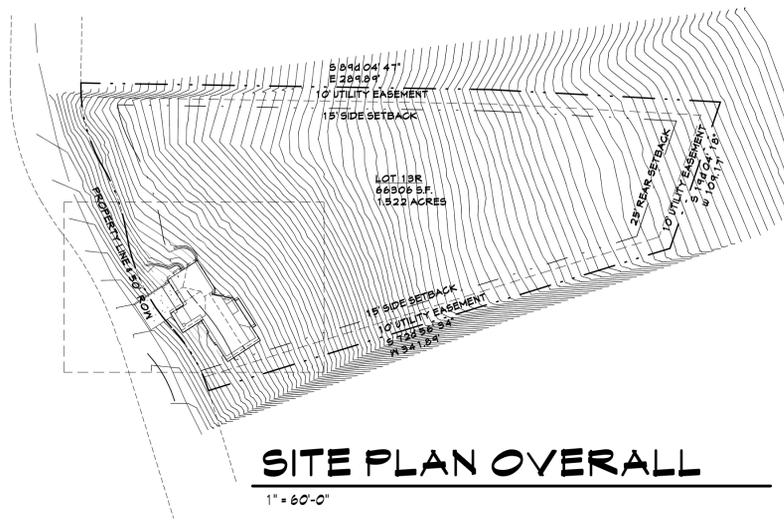
Issue:	4.24.20
drawn by:	EE
revision #	revision date
1	7/22/20

AO.1

NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work, or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.

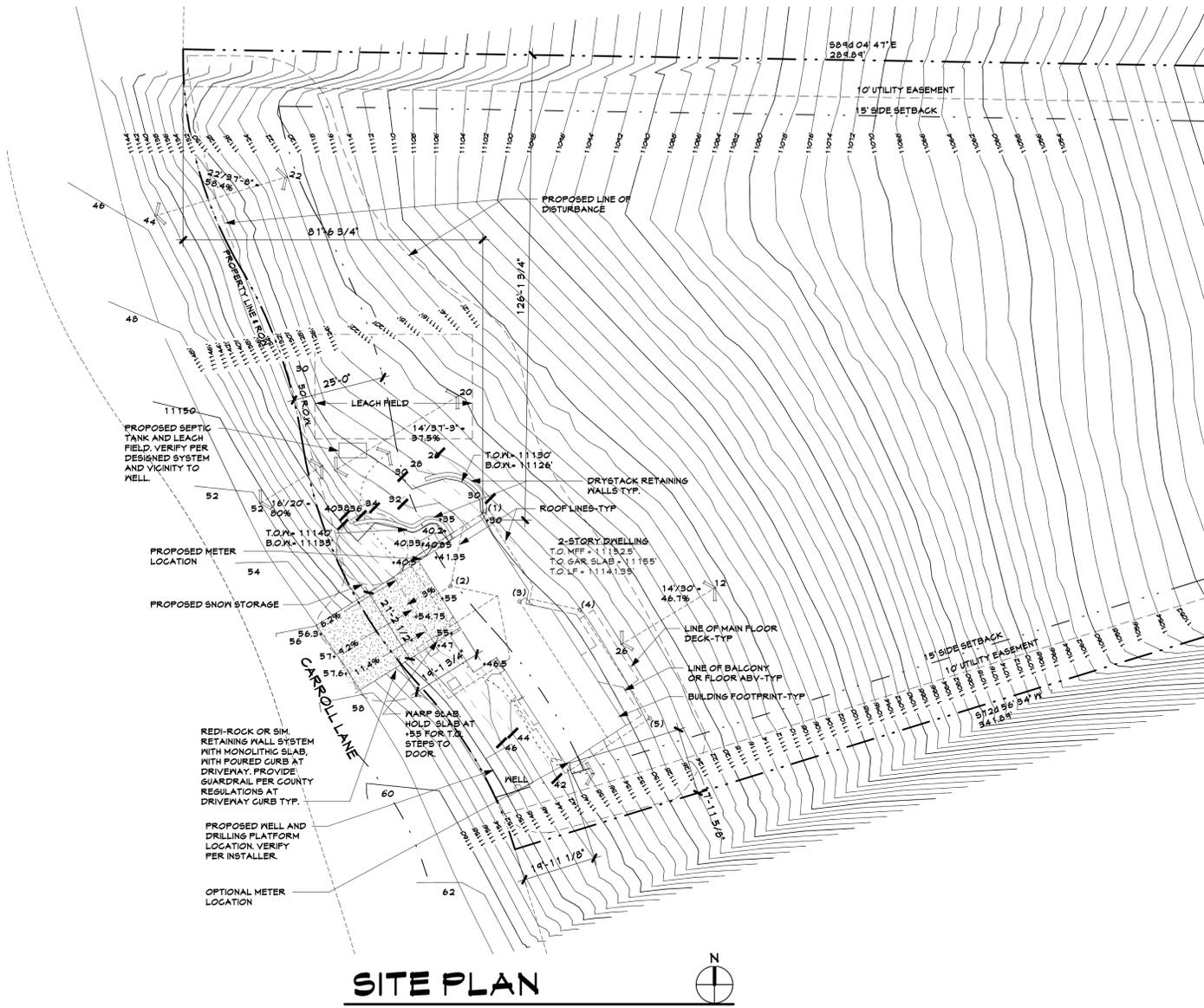


VICINITY MAP
NTS



SITE PLAN OVERALL

1" = 60'-0"



SITE PLAN

1" = 20'-0"

PROJECT DIRECTORY

CONTRACTOR: DOUG GURLEA
NEM WEST PARTNERS
64 MARKSBERRY WAY
BRECKENRIDGE, CO 80424
970-771-9495

SURVEYOR: MATTHEW J. WENTZ
SUMMIT LAND SURVEYING, INC.
7016 RYAN GULCH RD
SILVERTHORNE, CO 80448
470-513-0156

STRUCTURAL ENGINEER: DAVID BENNING P.E.
STRUCTURAL DESIGN PARTNERSHIP
1504 WASHINGTON AVE.
GOLDEN, CO 80401
303-278-1750

LEGAL DESCRIPTION

LOT 13, BLOCK 1
QUANDRY VILLAGE FILING NO. 2
SUMMIT COUNTRY, COLORADO

VARIANCE FOOTPRINT CALC

	PROPOSED	MAXIMUM
MAIN FLOOR	1042 SF.	
DECK	156.25 SF.	
TOTAL MAIN FLOOR	1198.25 SF.	1200 SF.
GARAGE	394.9 SF.	400 SF.

SQUARE FOOTAGE

	PROPOSED
LOWER FLOOR	749.5 SF.
GAME ROOM (BELOW GAR.)	400 SF.
TOTAL LOWER FLR FIN.	1149.5 SF.
UNFINISHED	174.5 SF.
DECK	209.75 SF.
MAIN FLOOR FIN.	1104.25 SF.
GARAGE (UNFIN.)	447.5 SF.
DECK	156.25 SF.

BUILDING ELEVATIONS

T.O. LOWER FLOOR	11141.35'
T.O. MAIN FLOOR	11152.5'
T.O. SLAB @ GARAGE DOOR	11155'
DRIVEWAY CONNECT. @ ROAD	11155.0'

BUILDING HEIGHT CALCULATIONS

LOCATION:	NATURAL GRADE ELEV.	HEIGHT ABV. GRADE.
(1) GAR. OVERHANG	27'-6" / 61'-8 3/4"	34'-2 3/4"
(2) GARAGE RIDGE	37' / 64'-7"	32'-1"
(3) MAIN RIDGE	32'-4" / 61'-6 3/8"	34'-4 3/8"
(4) NE OVERHANG	28' / 62'-3 3/8"	34'-3 5/8"
(5) SE OVERHANG	27'-6" / 62'-3 3/8"	34'-4 5/8"

SHEET INDEX

A0	SITE PLAN AND GENERAL NOTES
A1	LOWER FLOOR PLAN
A2	MAIN FLOOR PLAN
A3	ROOF PLAN
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
A7	SECTIONS
E1	LOWER FLOOR ELECTRICAL
E2	MAIN FLOOR ELECTRICAL
S1	FOOTING FOUNDATION PLAN
S2	FOUNDATION DETAILS
S3	DETAILS
S4	STEEL BEAMS, COLS., 4 X BRACING @ EAST SIDE OF HOUSE
S5	STEEL BEAMS, COLS., 4 X BRACING @ EAST & NORTH GAR.
S6	FRAMING AND SHEAR WALL DETAILS
S7	LOWER FLOOR & DECK FRAMING PLAN
S8	MAIN FLOOR & DECK FRAMING PLAN
S9	ROOF FRAMING PLAN

LEGEND

---	PROPERTY LINE
---	SETBACK/EASEMENT
---	NEW OR UNCHANGED CONTOUR
---	EXISTING CONTOUR TO BE RE-GRADED
▨	NEW STRUCTURE
▨	EXISTING ROAD
▨	NEW ROAD

GENERAL PROJECT NOTES (2018 IRC)

- ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) w/ LOCAL AMENDMENTS
2018 INTERNATIONAL PLUMBING CODE (IPC) w/ LOCAL AMENDMENTS
2018 INTERNATIONAL MECHANICAL CODE (IMC) w/ LOCAL AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE w/ LOCAL AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ LOCAL AMENDMENTS
2011 NATIONAL ELECTRICAL CODE
- DO NOT SCALE BLUEPRINTS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2018 IRC, SECTION R602)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. EXCEPT AS NOTED ON THESE ARCHITECTURAL AND STRUCTURAL PLANS. (RE: 2018 IRC, SECTION R602)
- ALL WINDOW SIZES NOTED ON THESE ARCHITECTURAL PLANS ARE GENERIC DIMENSIONS. TO BE READ AS "FEET - INCHES". (A WINDOW SIZE OF "1'-6 3/8" DENOTES 1'-6" WIDE BY 3'-0" HIGH). CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT IF WINDOW MANUFACTURER'S SPECIFIC WINDOW SIZES DO NOT MATCH THE GENERIC WINDOW DESIGNATIONS ON THESE PLANS.
- ALL GLASS IN HAZARDOUS LOCATIONS AS DEFINED BY THE 2018 IRC, SECTION R308.4, SHALL MEET THE GOVERNING CODE REQUIREMENT FOR SAFETY GLAZING.
- FIREPLACES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES (2018 IRC, SECTIONS R1001 - R1006) and THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL GUARDRAILS SHALL COMPLY WITH THE 2018 IRC, SECTION R312.
- ALL HANDRAILS SHALL COMPLY WITH THE 2018 IRC, SECTION R311.7.B.
- PROVIDE BLOCKING AT ALL CLOSET ROD, SHELF and BRACKET LOCATIONS and AT ALL HANDRAILS, SHOWER DOOR and TUB ENCLOSURE LOCATIONS.
- INSTALL "DUROCK" OR EQUIVALENT CONCRETE BACKING BOARD at SHOWER / TUB ENCLOSURES, SHOWER BENCHES, TUB DECKS and LOCATIONS TO RECEIVE TILE FINISHES.
- TOP OF ALL SHOWER BENCHES and LEDGES SHALL BE SLOPED TO DRAIN at 1/4" PER FOOT MINIMUM.
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL NOTES, MEMBER SIZES and DETAILS.
- TRUSS MANUFACTURER IS TO PROVIDE TRUSS LAYOUT and PROFILES TO THE STRUCTURAL ENGINEER and ARCHITECT FOR REVIEW. SUCH WORK SHALL BE BASED BOTH ON THE ARCHITECTURAL TRUSS DIAGRAMS and STRUCTURAL DRAWINGS. DIMENSIONS SHOWN FOR TRUSSES ON THE TRUSS DIAGRAMS ARE TO BE USED AS GENERAL GUIDES and SHALL BE VERIFIED BY THE TRUSS MANUFACTURER.
- PROVIDE 1-HOUR FIRE PROTECTION at USEABLE SPACE UNDER STAIRS BY CONSTRUCTING THE WALLS and UNDERSIDE OF STAIR WITH 5/8" TYPE 'X' GYPSUM WALLBOARD.
- ALL DOORS BETWEEN DWELLING and GARAGE AREAS MUST MEET THE REQUIREMENTS OF THE 2018 IRC, SECTION R302.5.
- PROVIDE 5/8" TYPE 'X' GYPSUM WALLBOARD at GARAGE WALLS and CEILING ADJACENT TO LIVING AREAS. AT GARAGE CEILING, REFER TO THE NATIONAL EVALUATION SERVICE, INC. REPORT NUMBER NER-2007, SECTION 9.5.2. ALL EXPOSED BEAMS TO BE WRAPPED.

REPORT NUMBER NER-2007	FIGURE NO. & ASSEMBLY E-2
1.	3/4" T&G PLYWOOD
2.	1-LAYER 5/8" TYPE 'X' GYPSUM BOARD
3.	T.J. JOIST

- PROVIDE 26 GA. FLASHING BETWEEN EXTERNAL CONCRETE SLABS and WOOD FRAMING.
- PROVIDE ROOF and ATTIC VENTILATION IN ACCORDANCE WITH THE 2018 IRC, SECTION R308.
- GUTTERS, WHERE PROVIDED at HORIZONTAL FASCIAS, SHALL HAVE ONE DOWNSPOUT EVERY 25'-0" MAX.
- DOWNSPOUTS, WHERE PROVIDED, SHALL DISCHARGE OUTWARD BEYOND THE LIMITS OF THE FOUNDATION BACKFILL.
- ALL EXPOSED ROOF VENTS and STACKS ARE TO BE PAINTED TO MATCH THE ADJACENT ROOF MATERIAL. LOCATE ALL VENTS and STACKS TO THE REAR OF THE RIDGE IF POSSIBLE.
- PROVIDE FLASHING at ALL ROOF TO ROOF CONNECTIONS, ROOF TO WALL CONNECTIONS and ALL ROOF PENETRATIONS AS REQUIRED BY GOVERNING CODE.
- PROVIDE FLASHING at ALL WINDOWS and DOORS and at ALL BUILDING MATERIAL CONNECTIONS.
- BUILDER TO VERIFY and COORDINATE UTILITY CONNECTIONS, THEIR ROUTINGS, and ALL METER LOCATIONS.
- ICE and WATER SHIELD TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEE SECTION FOR NOTE)
- INSTALL A CONTINUOUS 2x4 WOOD GANT STRIP at ALL ROOF PITCH CHANGES TO PROVIDE CONTINUOUS BACKING BEHIND ICE and WATER SHIELD.

ENERGY REQUIREMENTS

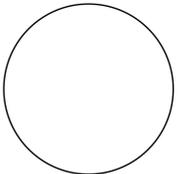
PER "RES-CHECK" OR PRESCRIPTIVE PACKAGE AS FOLLOWS FOR ALL NEW CONSTRUCTION:
U-VALUE FOR ALL FENESTRATION GLAZING SHALL BE 0.30 (MAX.)
U-VALUE FOR ALL SKYLIGHT GLAZING SHALL BE 0.35 (MAX.)
PROVIDE R-48 (MIN) INSULATION IN ALL EXTERIOR ROOFS
PROVIDE R-20.5 OR R-19 (MIN) INSULATION IN ALL EXTERIOR WALLS
PROVIDE R-38 (MIN) INSULATION IN ALL FLOORS OVER UNHEATED SPACES & CANTILEVERS
PROVIDE R-10 (MIN) SLAB INSULATION FOR A DEPTH OF 4'-0"
PROVIDE R-15/14 (MIN) INSULATION FOR ALL GROUND SPACE WALLS
PROVIDE R-15/14 (MIN) INSULATION FOR ALL UNFINISHED BASEMENT FOUNDATION WALLS
*R-20.5 DENOTES R-20 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION, PER 2018 IECC
*R-15/14 DENOTES R-15 CONTINUOUS OR R-14 CAVITY INSULATION, PER 2018 IECC
IN ADDITION TO THE ABOVE INSULATION and GLAZING STANDARDS, THE CONSTRUCTION OF THIS HOUSE MUST CONFORM TO ALL OTHER PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

SITE PLAN NOTE

CONTRACTOR TO VERIFY LOCATION and INVERT ELEVATION OF SEWER STUB-OUT BEFORE FOUNDATION EXCAVATION and CONSTRUCTION. ARCHITECT MUST BE NOTIFIED IMMEDIATELY IF SEWER LINE FROM HOUSE CANNOT BE TIED INTO SEWER STUB OUT. ARCHITECT IS NOT RESPONSIBLE FOR ANY COSTS INCURRED, INCLUDING FEES FOR REVISIONS TO SITE PLAN, BASED ON FAILURE OF CONTRACTOR TO PROVIDE TIMELY NOTIFICATION OF SEWER ELEVATION OR LOCATION DISCREPANCIES.
CONTRACTOR SHALL STRIP and PILE TOP SOIL WITHIN GRADING BOUNDARIES FOR RE-DISTRIBUTION UPON COMPLETION OF SITE GRADING.

BUILDER NOTE

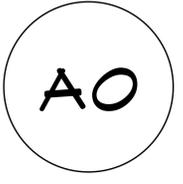
CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE DESIGN INTENT OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS, AND SHALL HAVE TOTAL CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS and PROGRAMS IN CONNECTION WITH ALL BUILDING MATERIALS, SYSTEMS and COMPONENTS INCLUDING THE STRUCTURAL, ELECTRICAL and MECHANICAL BUILDING MATERIALS, SYSTEMS and COMPONENTS NECESSARY FOR THE SAFE, PROPER and CORRECT COMPLETION OF THIS PROJECT.



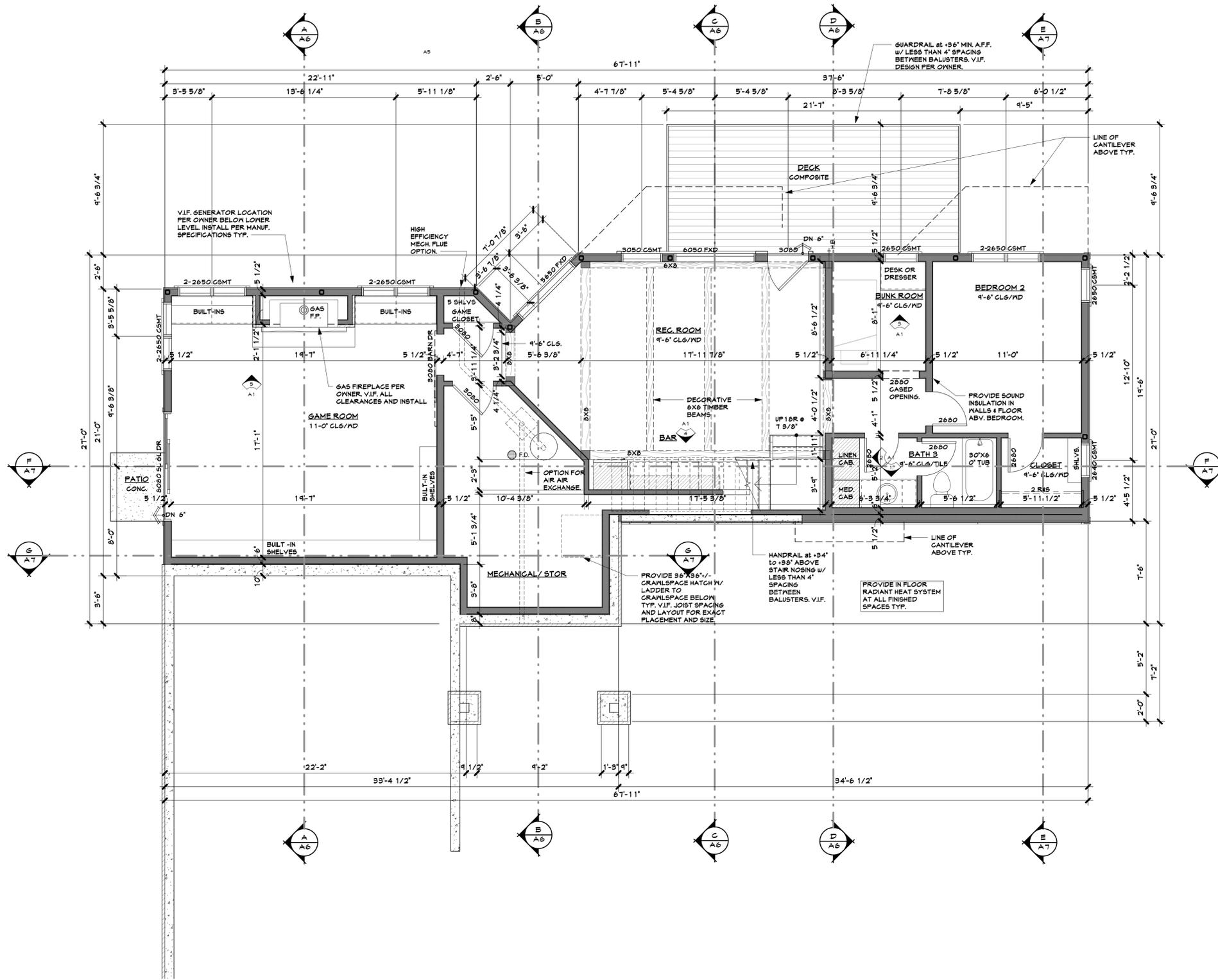
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any errors or omissions. Any ambiguity or discrepancy cannot be anticipated. Any ambiguity or discrepancy discovered by the user of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO
SUMMIT COUNTY

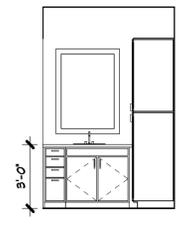
Issue: 4.29.20
drawn by: EE, JC
revision #: revision date



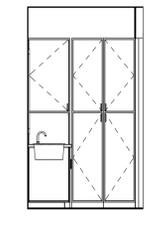
NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.



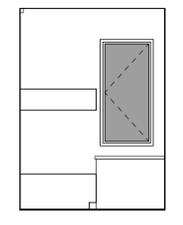
LOWER FLOOR PLAN
1/4" = 1'-0"



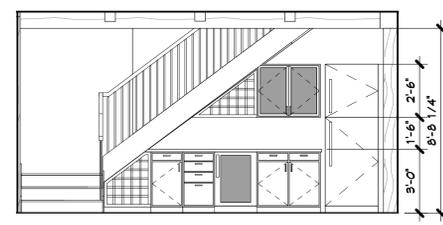
1. BATH 3
1/4" = 1'-0"



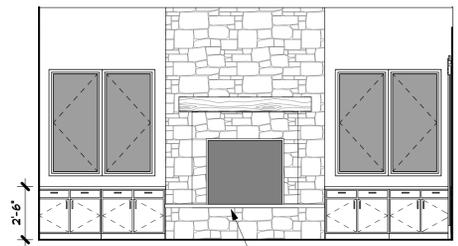
2. BATH 3 LINEN
1/4" = 1'-0"



3. BUNK ROOM
1/4" = 1'-0"



4. BAR
1/4" = 1'-0"



5. GAME ROOM
1/4" = 1'-0"

V.I.F. GAS FIREPLACE PER OWNER. VERIFY ALL CLEARANCES TO MANTEL AND HEARTH PER MANUF SPEC. INSTALL PER MANUF SPEC.

fine residential design

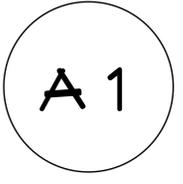


1503 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 303.278.8949

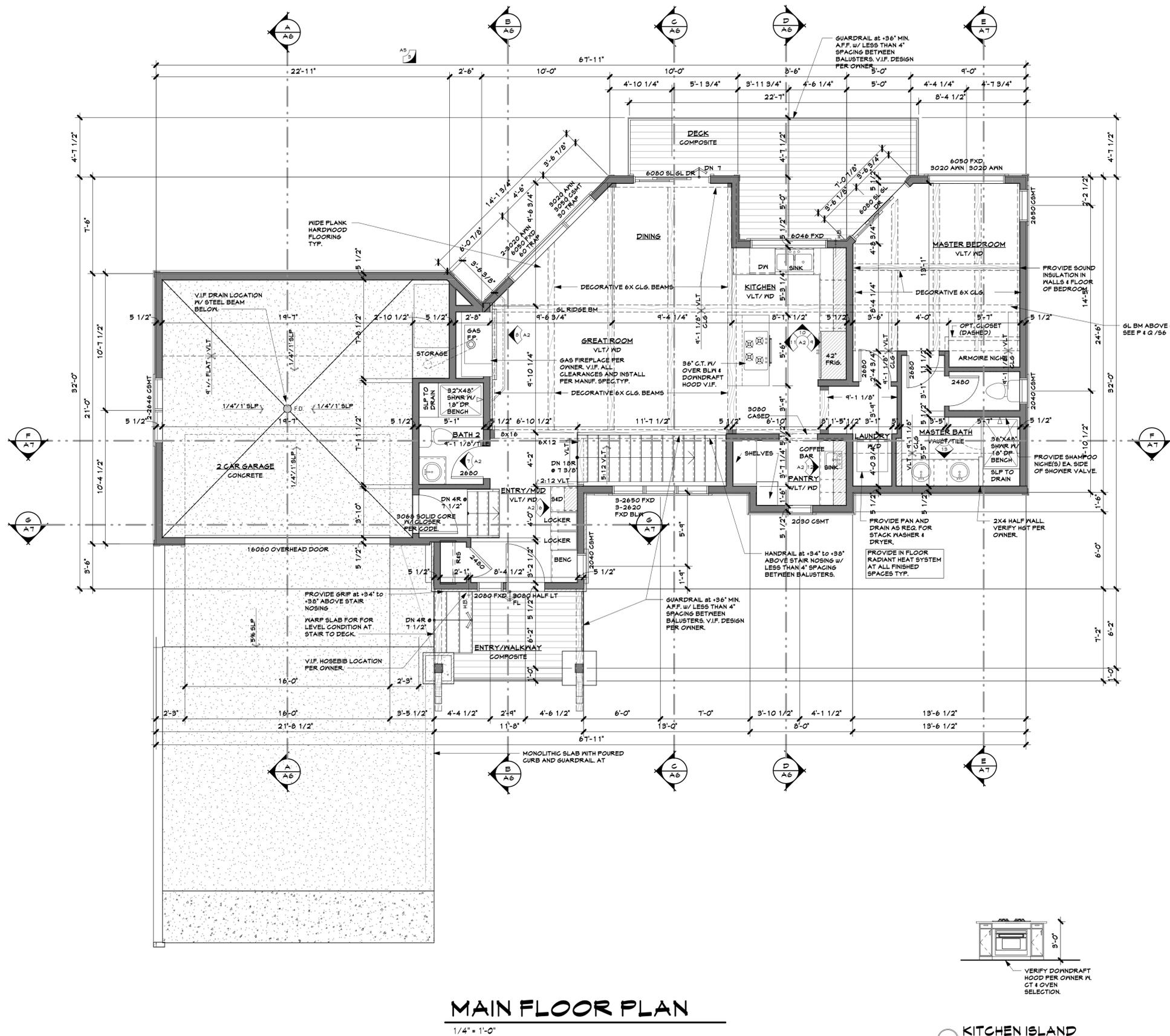
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any ambiguity or discrepancy discovered by the user. These plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO 80424
SUMMIT COUNTY

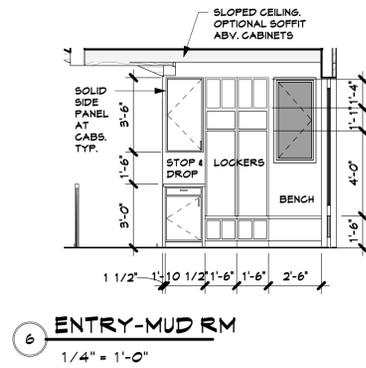
Issue:	4.24.20
drawn by:	EE
revision #	revision date



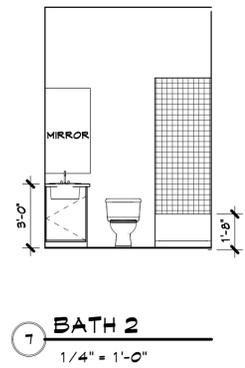
NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.



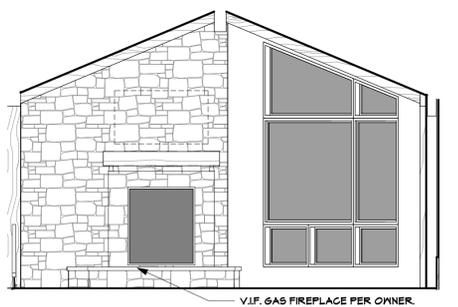
MAIN FLOOR PLAN
1/4" = 1'-0"



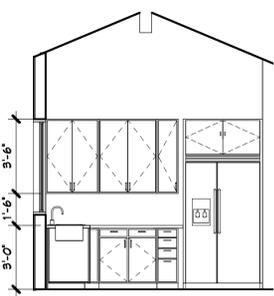
6 ENTRY-MUD RM
1/4" = 1'-0"



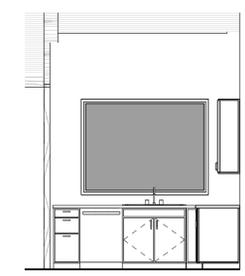
7 BATH 2
1/4" = 1'-0"



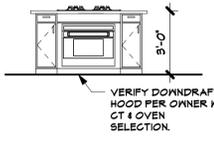
8 GREAT ROOM FIREPLACE
1/4" = 1'-0"



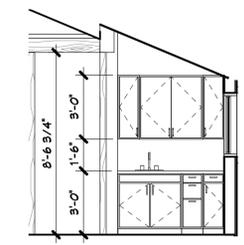
9 KITCHEN 1
1/4" = 1'-0"



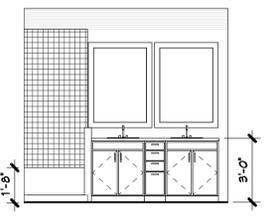
10 KITCHEN 2
1/4" = 1'-0"



11 KITCHEN ISLAND
1/4" = 1'-0"



12 COFFEE BAR
1/4" = 1'-0"



13 MASTER BATH
1/4" = 1'-0"

fine residential design
tkp ARCHITECTS
1505 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 303.278.6941

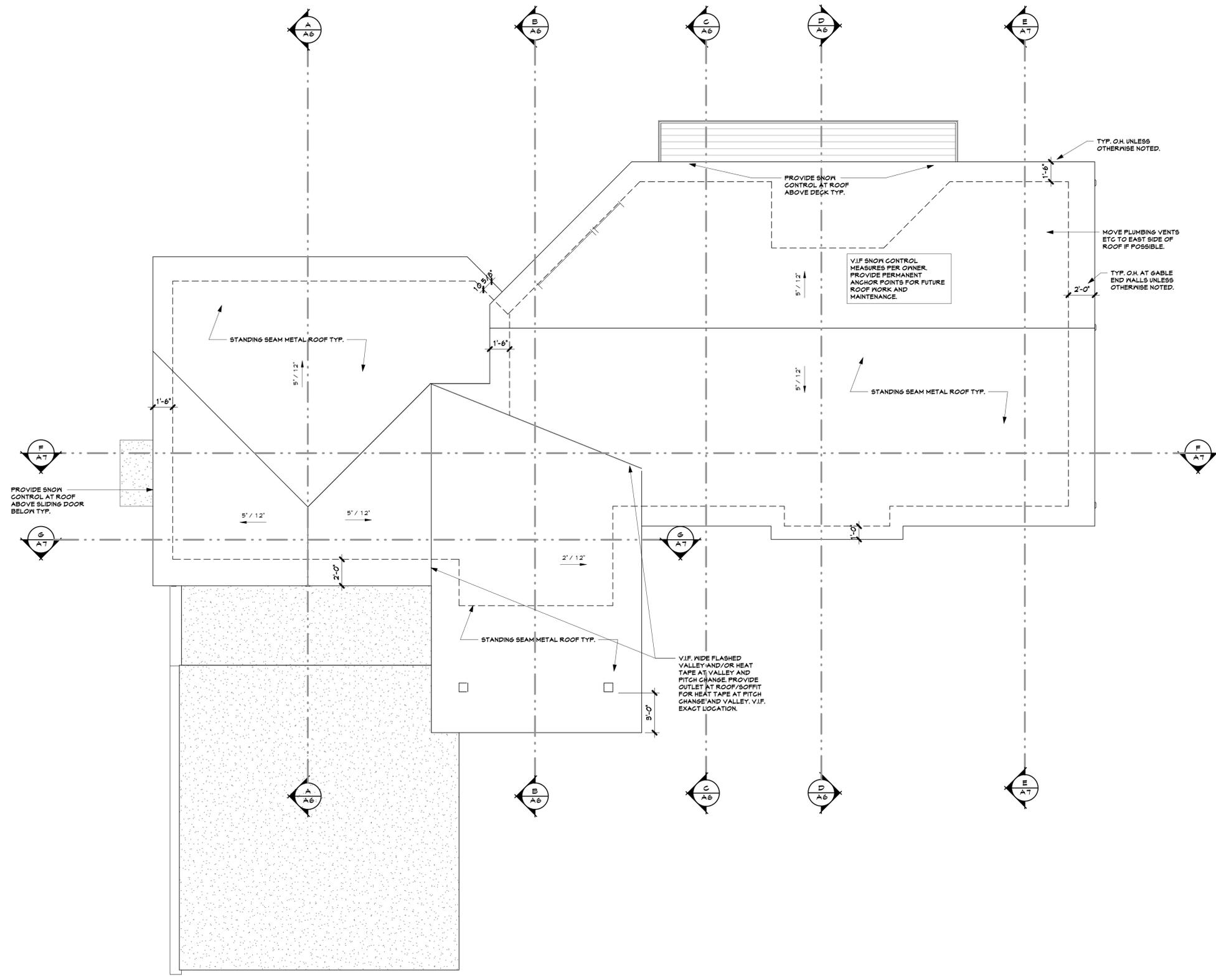
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any errors or omissions. Any ambiguity or discrepancy discovered by the user of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO 80424
SUMMIT COUNTY

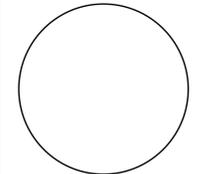
Issue:	4.24.20
drawn by:	EE
revision #	revision date

A2

NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.



ROOF PLAN
1/4" = 1'-0"

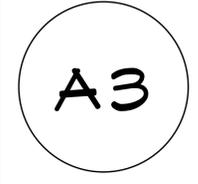


1505 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 303.278.8844

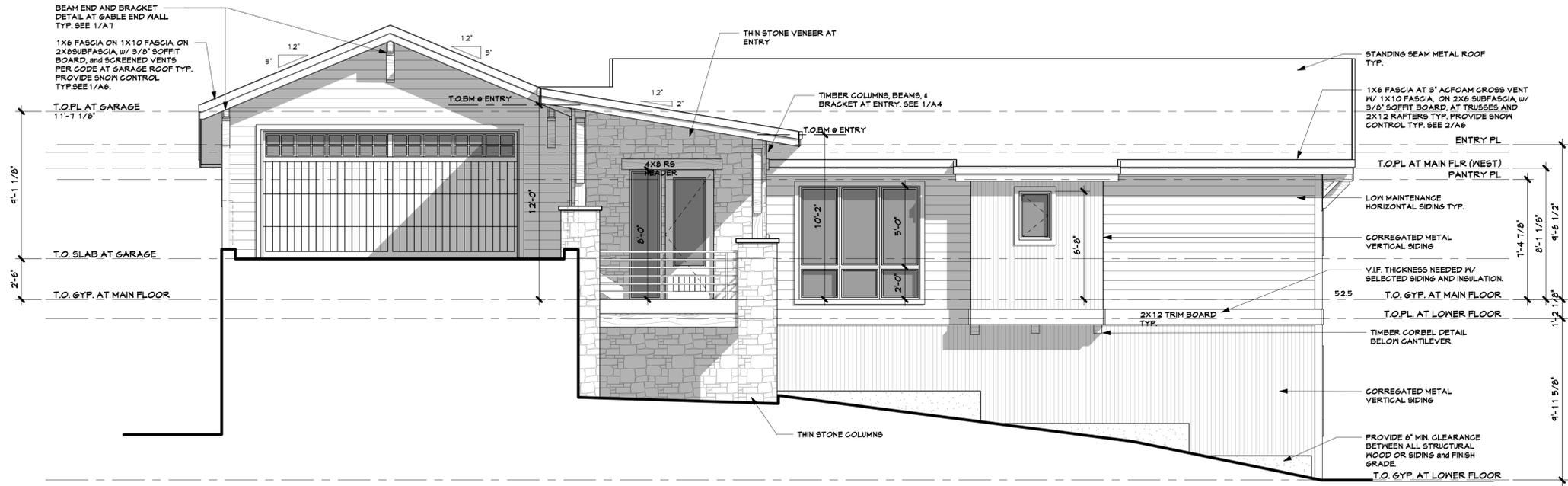
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any errors or omissions. Any ambiguity or discrepancy cannot be anticipated. Any ambiguity or discrepancy discovered by the user of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO 80424
SUMMIT COUNTY

Issue:	4.24.20
drawn by:	EE
revision #	revision date

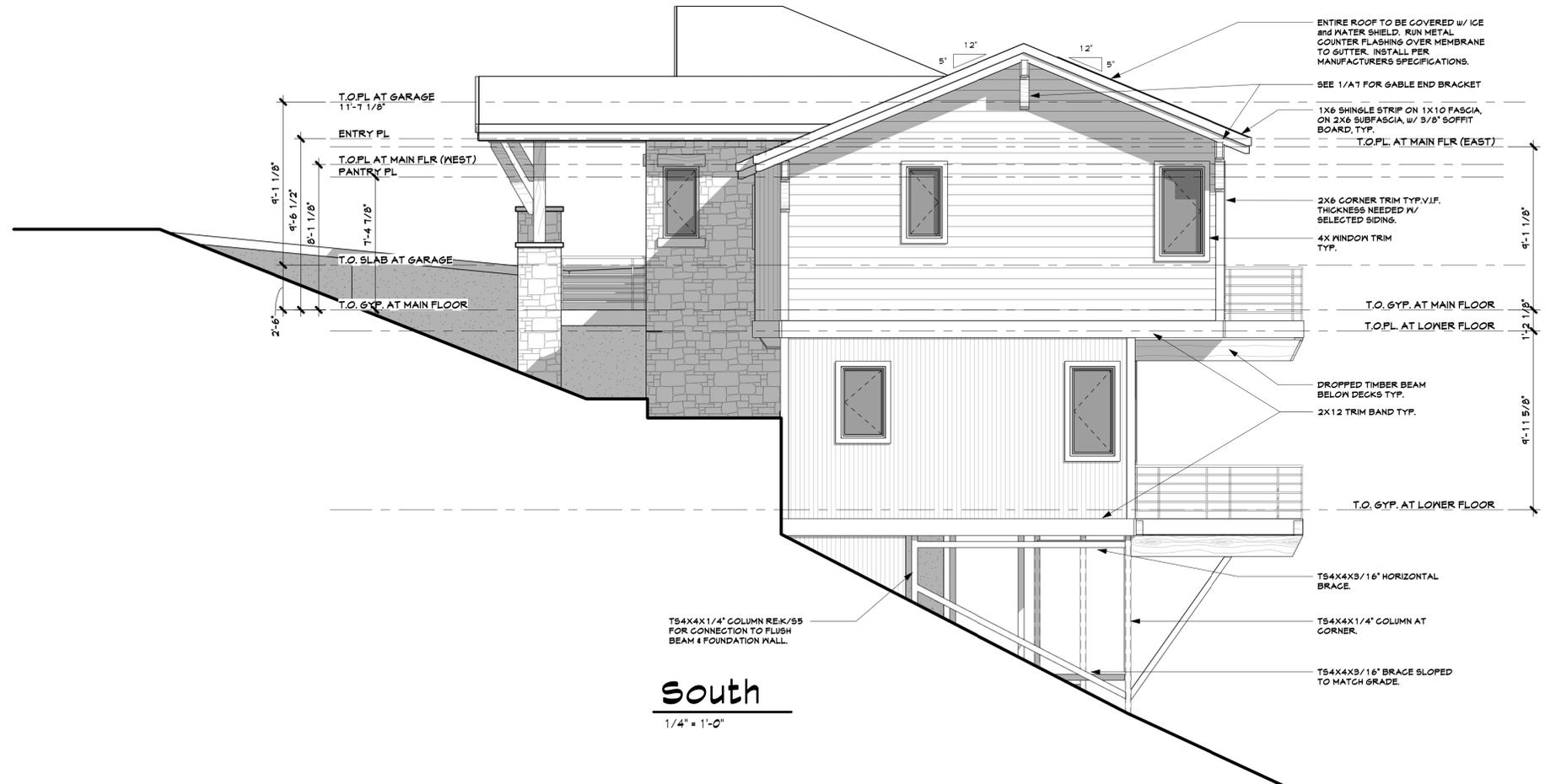


NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.



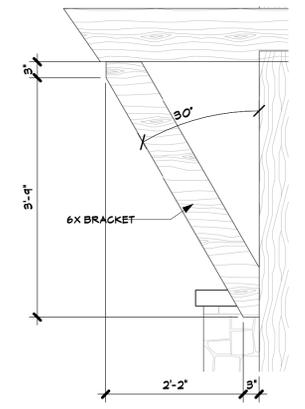
West

1/4" = 1'-0"



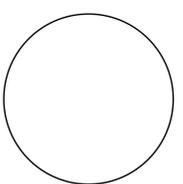
South

1/4" = 1'-0"



1. ENTRY BRACKET

3/4" = 1'-0"

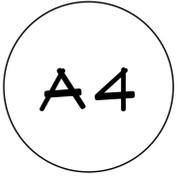


fine residential design
tkp ARCHITECTS
1505 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 303.278.8941

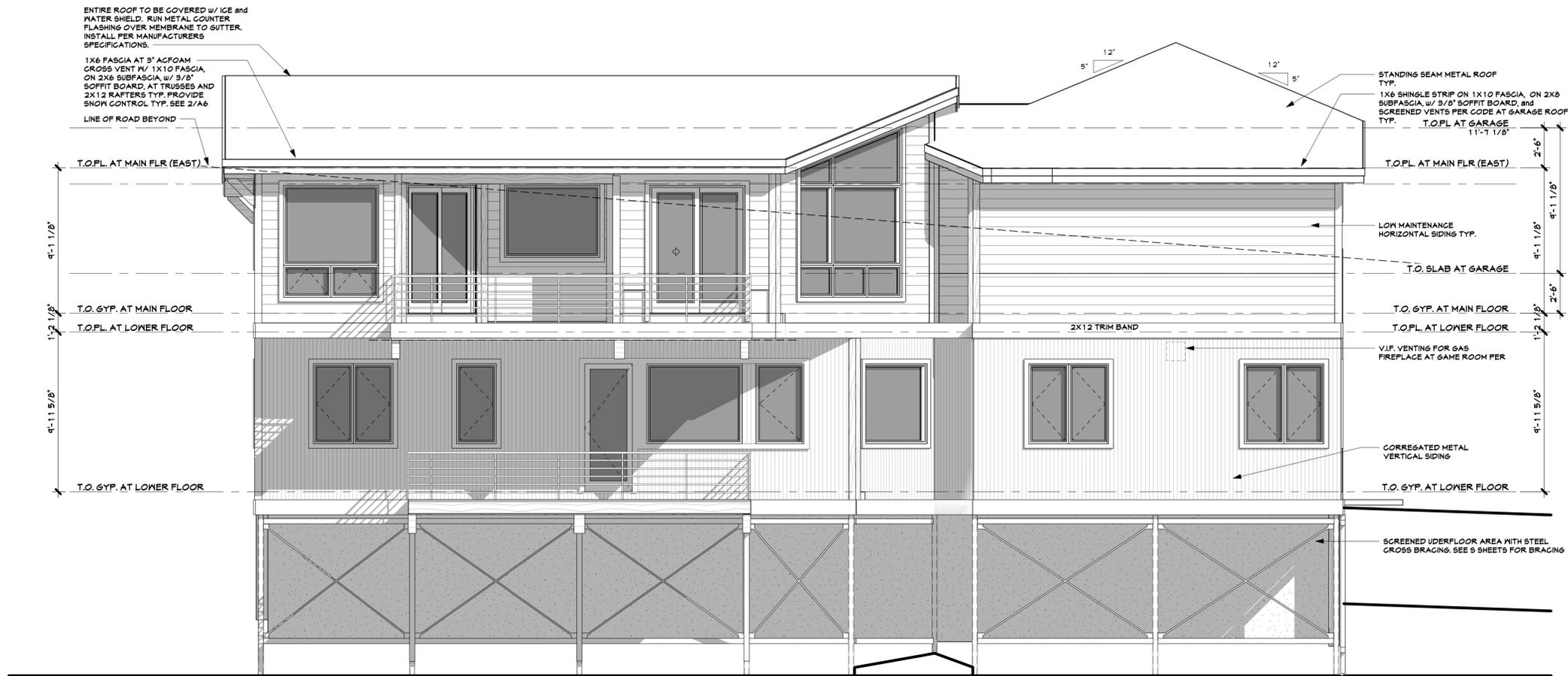
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any ambiguity or discrepancy discovered by the user. These plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO 80424
SUMMIT COUNTY

Issue:	4.24.20
drawn by:	EE
revision #	revision date

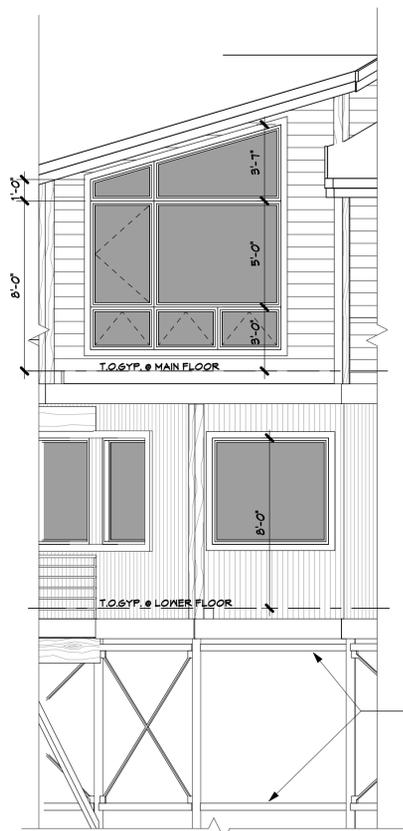


NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.



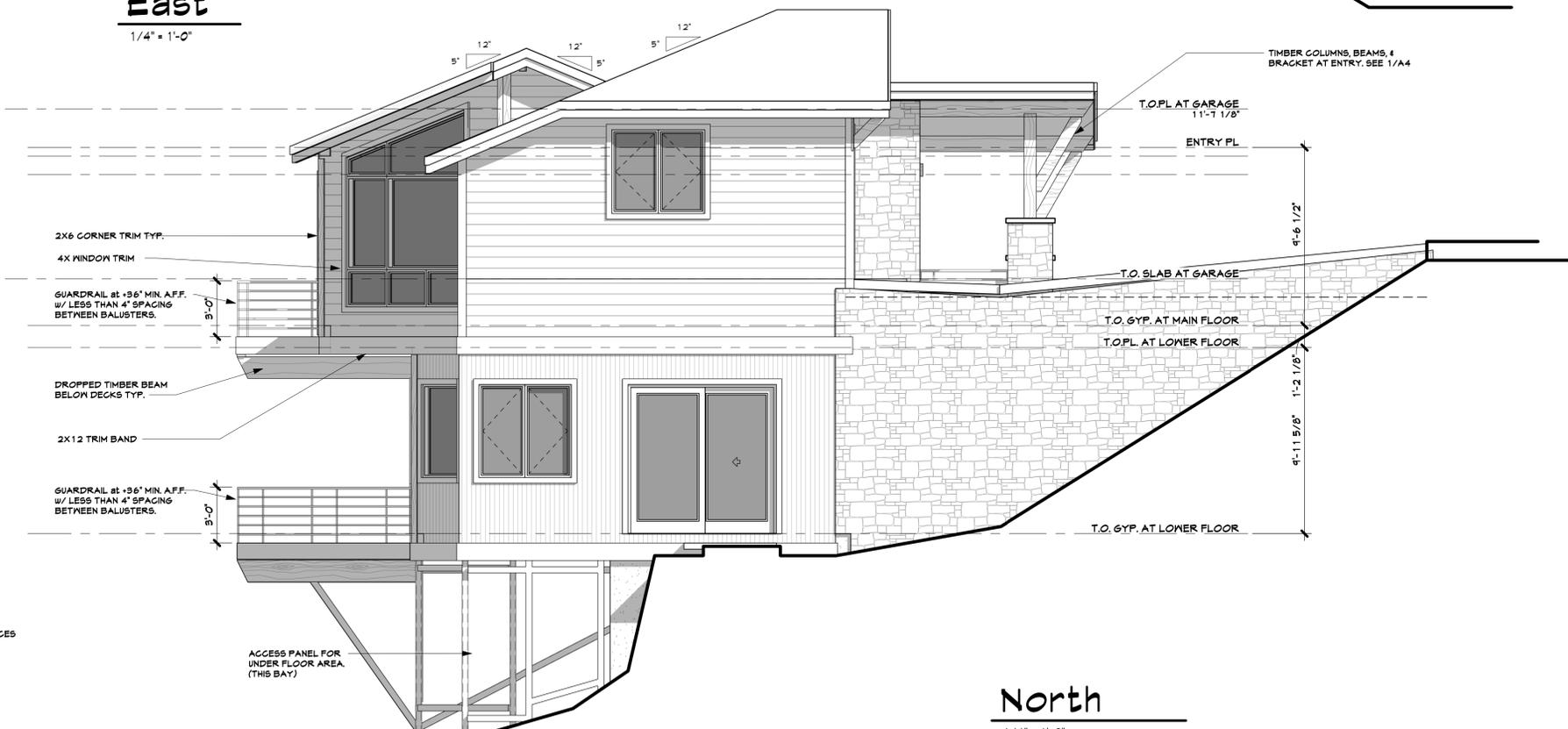
East

1/4" = 1'-0"



Northeast

1/4" = 1'-0"



North

1/4" = 1'-0"

fine residential design



1505 Washington Avenue, Golden, Colorado, 80401
www.tkparch.com 303.278.8944

NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his consultants have performed their services with due diligence, they cannot be held responsible for any errors or omissions. Any ambiguity or discrepancy discovered by the user cannot be anticipated. Any ambiguity or discrepancy discovered by the user, these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the Architect and Owner of such responsibility for all consequences arising out of such changes.

MAHONEY CABIN
434 CARROLL LANE
BRECKENRIDGE, COLORADO 80424
SUMMIT COUNTY

Issue: 4.24.20
drawn by: EE
revision #: revision date

A5

NOTICE: COPYRIGHT © 2019 TKP ARCHITECTS, PC. These plans are copyrighted and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation or buildings being seized and/or razed.

FOUNDATION PLAN KEYNOTES

1. PROVIDE 2-#5 TRIM BARS W/ 2'-0" HOOK AT WALL STEP. EXTEND VERT LEG MIN 3'-0" BELOW TOP OF FDN WALL. # BOTTOM OF STEP.
2. TURN DOWN TOP ROW OF REINF 3'-0" # GARAGE DOOR BLOCKOUT.
3. SIMPSON 5THD14 HOLDINGS EMBEDDED IN GARAGE FDN WALL W/ STL STRAP FLUSH W/ EXT FACE OF 2X6 STUDS PROVIDE 1/2" FROM CORNER OR EDGE OF BLOCKOUT TO EDGE OF STRAP.
4. PROVIDE 4"X12" BLOCKOUT # TOP OF 10" FDN WALL TO FORM 4" LEDGE BRG CONC DRIVEWAY.
5. PROVIDE 10-# DOUELS FROM FTG TO 12"X6"-0" CONC BUTTRESS. RE E/83 FOR BUTTRESS REINF. HOLD DOWN TOP OF BUTTRESS 2'-0" BELOW TOP OF FDN WALL.
6. PROVIDE 6-# DOUELS FROM FTG TO 12"X6"-4" CONC BUTTRESS. RE E/83 FOR BUTTRESS REINF. HOLD DOWN TOP OF BUTTRESS 2'-0" BELOW TOP OF FDN WALL.
7. PROVIDE 4-# DOUELS FROM FTG PAD TO 2'-0"X2'-0" CONC PIER W/ 4-# VERTS # 4 TIES # 18" O.C.
8. PROVIDE 8-# DOUELS FROM FTG PAD TO 2'-0"X2'-2 1/2" CONC PILASTER W/ 8-# VERTS # 4 TIES # 18" O.C. EXTEND HORIZ RETAINING WALL REINF TO END OF PILASTER.
9. SIMPSON ABUB88Z POST BASE W/ 2-# 1/2"X6" EXP BOLTS TO TOP OF CONC PIER/PILASTER.
10. 10-# CONC PIER W/ 8-# VERT # 13-14" CIRCULAR TIES # 12" O.C. PROVIDE 2-# TIES # 3" O.C. AT TOP OF PIER.
11. PROVIDE #1 EMBEDDED # END OF 8" FDN FOR FIELD WELDED SIMPSON ECC006 COL CAP BRG 3-1/4" FLUSH ML TOP OF PLATE FLUSH W/ FDN WALL.
12. PROVIDE #1 EMBEDDED # END OF 8" FDN FOR FIELD WELDED SIMPSON ECC006 COL CAP BRG 3-1/4" FLUSH ML TOP OF PLATE 8" BELOW TOP OF FDN WALL.
13. PROVIDE #1 EMBEDDED # 10" GARAGE FDN FOR FIELD WELDED SIMPSON ECC006 COL CAP BRG 3-1/4" FLUSH ML TOP OF PLATE 3'-0" BELOW TOP OF 6" CONC CURB.

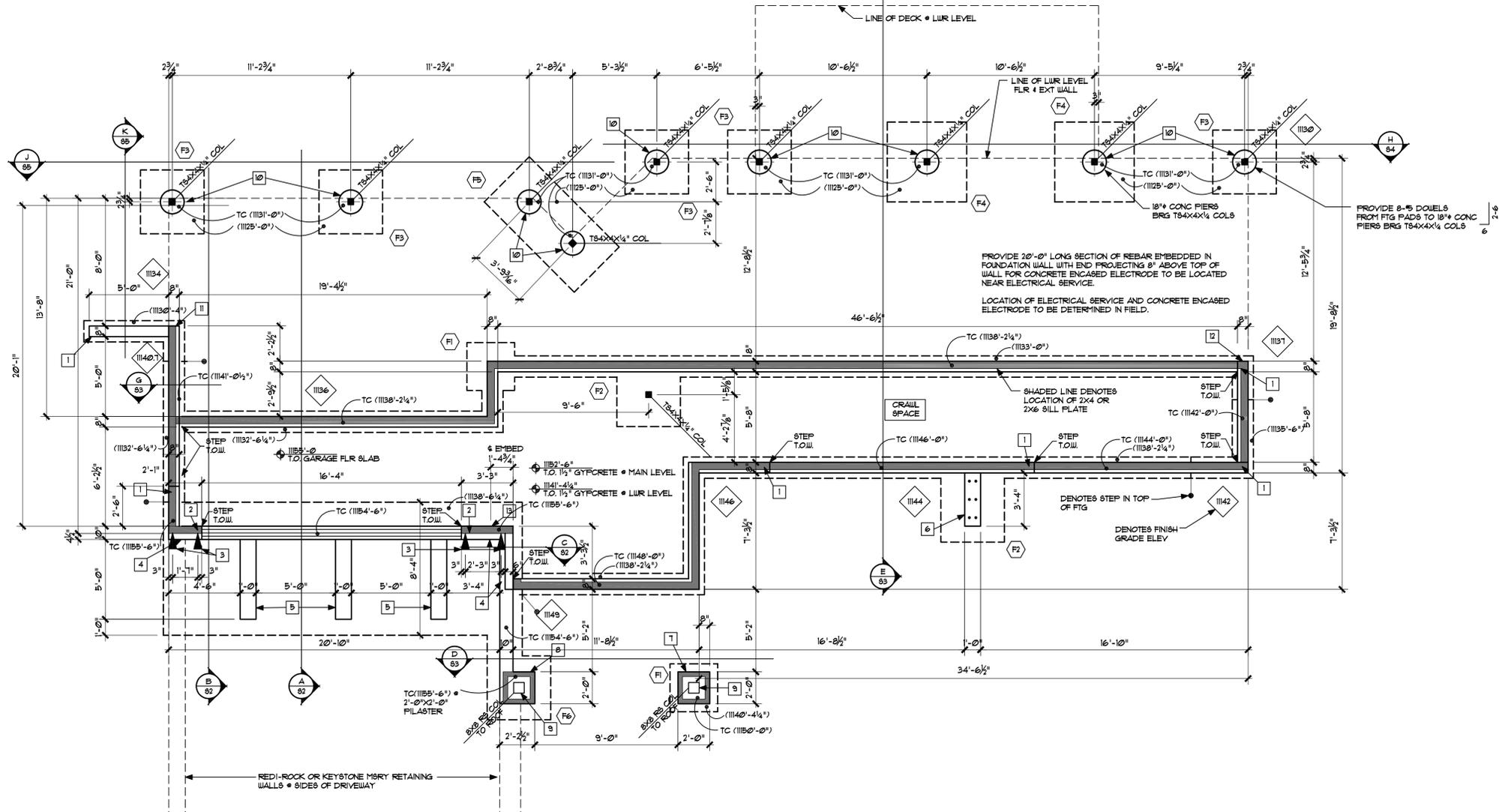
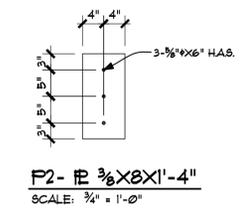
FOUNDATION PLAN NOTES

1. T.O. 6" CONC SLAB # GARAGE FLR = 1185'-0" T.O. 5HTHG GARAGE FLOOR = 1184'-6"
- T.O. 1 1/2" GYP MAIN FLOOR = 1182'-6" T.O. 5HTHG MAIN FLOOR = 1182'-4 1/4"
- T.O. 1 1/2" GYP LUR FLOOR = 1141'-4 1/4" T.O. 1 1/2" 5HTHG LUR FLOOR = 1141'-2 3/4"
2. T.O. FOUNDATION WALL TO BE NOTED THUS TC () ON PLANS.
3. T.O. FOOTINGS TO BE NOTED THUS () ON PLANS.
4. FOUNDATION WALLS TO BE 8" THICK WITH 2-#5 CONTINUOUS TOP AND BOTTOM UNLESS NOTED OTHERWISE ON PLANS. RE E/83 FOR TYPICAL BASEMENT FOUNDATION WALL REINFORCEMENT. CENTER FOUNDATION WALLS ON FOOTINGS.
5. CONTINUOUS FOOTING SUPPORTING GRADE BEAMS TO BE MINIMUM 8"X16" W/ 2-#5 CONT. PROVIDE 4 DOUELS AT 24" O.C. TYPICALLY FROM FOOTING TO FOUNDATION WALL. MAINTAIN MINIMUM 48" FROM FINISH GRADE TO BOTTOM OF ALL FOOTINGS TYPICALLY.
6. PROVIDE 2"X10" ANCHOR BOLTS WITH MINIMUM 1" EMBEDMENT SPACED 4'-0" O.C. MAXIMUM ALL SILL PLATES TO HAVE A MINIMUM OF 2 BOLTS PER PIECE WITH BOLTS NO MORE THAN 12" OR NO LESS THAN 3 1/2" FROM EACH END. PROVIDE NUTS # WASHERS FOR ALL ANCHOR BOLTS.

FOOTING PAD SCHEDULE

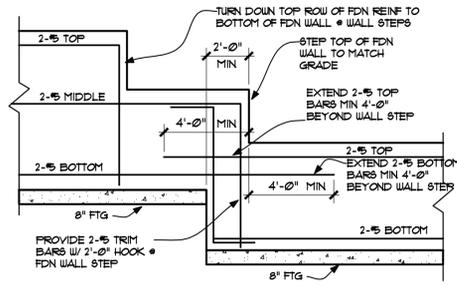
MARK	SIZE	REINF.
F1	3'-0"X3'-0"X0'-8"	4-#5 E.W.
F2	4'-0"X4'-0"X0'-8"	5-#5 E.W.
F3	4'-0"X4'-0"X0'-10"	5-#5 E.W.
F4	5'-0"X5'-0"X0'-10"	7-#5 E.W.
F5	4'-0"X8'-0"X0'-10"	7-#5X1'-8" 10-#5X3'-8"
F6	4'-0"X4'-0"X1'-0"	5-#5 E.W.

FOOTINGS DESIGNED FOR 2000 PSF MAXIMUM SOIL BEARING PRESSURE # LL-DL



SPREAD FOOTING FOUNDATION PLAN

SCALE: 1/4" = 1'-0" FULL WALKOUT BASEMENT W/ STONE



FDN WALL STEP REINFORCEMENT
SCALE: 1/2" = 1'-0"

STRUCTURAL GENERAL NOTES

1. LIVE LOADS USED IN DESIGN (PER 2018 IRC)
 - A. SEISMIC ZONE 4
 - B. ROOF # DECK # 20 PSF SNOW
 - C. FLOORS # 40 PSF
 - D. ULTIMATE DESIGN WIND LOAD (EXPOSURE B) # 90 MPH
2. BUILDING EARTHQUAKE
 - A. FOUNDATION DESIGN BASED ON FOOTINGS BEARING ON NATIVE SANDY OR GRAVEL SOILS.
 - B. FOOTING DESIGN:
 1. MAXIMUM SOIL BEARING PRESSURE = 2000 PSF
 2. FOOTING SHALL BEAR ON UNDISTURBED NATURAL SOILS OR ON SUITABLE COMPACTED MATERIAL AS SPECIFIED BELOW FROST DEPTH OF 48"
 3. PROTECT BOTTOMS OF EXCAVATION AGAINST FROST AND KEEP FREE OF WATER, DEBRIS, AND LOOSE MATERIAL.
 4. EXCESS EXCAVATION UNDER FOOTINGS MUST BE FILLED WITH CONCRETE SPECIFIED FOR FOUNDATIONS OR FILL COMPACTED AS RECOMMENDED BY THE SOILS ENGINEER.
 5. NO EXCAVATION FOR PIPES, CONDUITS, ETC. ADJACENT AND BELOW BOTTOM OF FOUNDATIONS SHALL BE ALLOWED UNLESS THE SLOPE BETWEEN EDGES OF FOUNDATIONS AND EXCAVATION DOES NOT EXCEED 1:1.
 - C. A QUALIFIED SOILS ENGINEER SHALL INSPECT THE EXPOSED SOILS TO VERIFY THE BEARING MATERIAL. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 6" IN FIRST 3'-0"
3. CAST-IN-PLACE CONCRETE:
 - A. ALLOWABLE STRESSES USED IN DESIGN:
 1. ALL CONCRETE SHALL BE MADE WITH STONE AGGREGATE AND TYPE II CEMENT AND SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (4000 PSI FOR ALL FLAT WORK). ADDITION OF ANY MIXTURES SHALL BE APPROVED BY THE STRUCTURAL ENGINEER. ALL CONCRETE IN CONTACT WITH THE SOILS OR EXPOSED TO DE-ICING SALTS SHALL BE MADE USING TYPE II CEMENT.
 2. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. EXCEPT TIES, STIRRUPS AND EMBEDDED PLATE ANCHORS WHICH SHALL CONFORM TO ASTM A615 GRADE 40. DO NOT WELD OR REBEND ANY BARS WITH A YIELD POINT GREATER THAN 40,000 PSI.
 - B. REINFORCEMENT PROTECTION:
 1. CONCRETE POURED AGAINST EARTH... 3"
 2. CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR EARTH... 1 1/2"
 3. COLUMNS AND BEAMS... 1 1/2"
 4. WALLS AND SLABS... 1 1/2"
 - C. ALL BARS MUST BE TO SPEC UNLESS NOTED. SPLICES ARE 36 BAR DIAMETERS WITH A MINIMUM LAP OF 2'-0". PROVIDE CORNER BARS AT ALL WALL CORNERS AND INTERSECTIONS. SIZE AND SPACING SHALL MATCH HORIZONTAL BARS.
 - D. DETAIL BARS IN ACCORDANCE WITH ACI DETAILING MANUAL AND ACI CODE, LATEST EDITION.
 - E. WIRE MESH REINFORCEMENT SHALL CONFORM TO ASTM A188. LAP ONE FULL MESH AT SIDE AND END LAPS AND WIRE TOGETHER. PLACE MESH AT MID-DEPTH OF SLAB.
 - F. PLACE #5 (1 EACH FACE) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE.
 - G. ALL CONCRETE MEMBERS SHALL HAVE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT CENTER OF SPAN WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS UNLESS OTHERWISE SHOWN OR APPROVED.
 - H. SINGLE POURS OF SLAB ON GRADE NOT TO EXCEED APPROXIMATELY 400 SQ. FT. UNLESS SHOWN. CONTROL JOINTS ARE MADE IMMEDIATELY AFTER FINISHING IN EXPOSED SLABS. JOINTS ARE TO BE LOCATED UNDER PARTITIONS WHENEVER POSSIBLE.
 - I. VERTICAL CONSTRUCTION JOINTS IN GRADE WALLS SHALL BE LOCATED AT LEAST 10 FEET AWAY FROM CORNER.
 - J. CONTRACTOR SHALL REQUEST ENGINEER TO INSPECT WALL REINFORCING AND OBTAIN HIS AUTHORIZATION TO PROCEED WITH CONCRETE POUR.
 4. STEEL:
 - A. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 EXCEPT PIPE COLUMNS SHALL BE ASTM A53 AND TUBE COLUMNS SHALL BE ASTM 4500 GRADE B.
 - B. STEEL BOLTS SHALL CONFORM TO ASTM A307.
 - C. STRUCTURAL STEEL TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH AISC SPECIFICATIONS, LATEST EDITION, AND WITH AISC CODE OF STANDARD PRACTICE, LATEST EDITION.
 5. WOOD:
 - A. FRAMING LUMBER SHALL BE STRESS GRADED HEM-FIR AS FOLLOWS:
 1. JOISTS, HEADERS, 2X6 STUDS... #
 2. EXTERIOR WALL STUDS (HEM-FIR)... # STUDS
 - B. TIMBER CONNECTORS CALLED OR ON THE DRAWINGS ARE AS MANUFACTURED BY SIMPSON COMPANY. CONNECTORS BY OTHER MANUFACTURERS MAY BE USED IF THE LOAD CAPACITY IS EQUAL TO OR GREATER THAN THE CONNECTOR SPECIFIED. USE MANUFACTURER'S FURNISHED NAILS AND BOLTS.
 - C. ALL COLUMNS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONTINUOUS UNLESS OTHERWISE SHOWN.
 - D. FASTEN ALL WOOD MEMBERS ACCORDING TO THE INTERNATIONAL RESIDENTIAL CODE TABLE R602.3 UNLESS OTHERWISE NOTED.
 - E. PLYWOOD FOR ROOF SHEATHING TO BE MINIMUM OF 3/4" THICK OSB AND APA PANEL SPAN RATING OF 40/20. FLOOR SHEATHING TO BE 3/4" T&G OSB OR PLYWOOD WITH AN APA PANEL SPAN RATING OF 48/24. AND SHALL CONFORM TO STANDARD PS1-95 OF THE AMERICAN PLYWOOD ASSOCIATION.
 - F. ALL SILL PLATES TO BE BORATE PRESSURE TREATED.
 6. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL.

NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the Owner, his Architect and his consultants. The Architect and his consultants have performed their services with due diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy in these drawings shall be the responsibility of the Architect. Failure to notify the Architect of any errors, omissions, or changes in construction costs, a failure to cooperate by a simple notice to the Owner, or any other act, shall constitute a release of the Architect and Owner from all consequences arising out of such cooperation.

Mahoney Cabin
434 CARROLL LANE
BRECKENRIDGE, CO
SUMMIT COUNTY

issued 4/29/20
drawn by DB/BB
revised
re-issued

NOTICE: COPYRIGHT
© 2020 Structural Design Partnership
These plans are copyrighted and are subject to copyright protection as an architectural work under Section 102 of the Copyright Act, 17 U.S.C., as amended December, 1996, and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the creation of such construction or buildings being seized and/or razed.

51
sheet number

quality structural design
sdp structural design partnership, inc.
18029 Washington Ave. Suite F, Golden, CO 80401
www.sdpstructure.com 303-278-1750